

*Eagle Hammock
Community Development District*

Meeting Agenda

April 11, 2024

AGENDA

Eagle Hammock

Community Development District

219 E. Livingston St., Orlando, Florida 32801

Phone: 407-841-5524 – Fax: 407-839-1526

April 4, 2024

Board of Supervisors
Eagle Hammock
Community Development District

Dear Board Members:

A meeting of the Board of Supervisors of the **Eagle Hammock Community Development District** will be held on **Thursday, April 11, 2024 at 10:00 AM** at the **Offices of Highland Homes, 3020 S. Florida Ave., Suite 101, Lakeland, FL 33803.**

Zoom Video Join Link: <https://us06web.zoom.us/j/85376320672>

Call-In Information: 1-646-876-9923

Meeting ID: 853 7632 0672

Following is the advance agenda for the meeting:

Board of Supervisors Meeting

1. Roll Call
2. Public Comment Period (¹Speakers will fill out a card and submit it to the District Manager prior to the beginning of the meeting)
3. Approval of Minutes of the August 10, 2023 Board of Supervisors Meeting
4. Consideration of Resolution 2024-01 Approving the Proposed Fiscal Year 2024/2025 Budget (Suggested Date: July 11, 2024) and Setting the Public Hearing on the Adoption of the Fiscal Year 2024/2025 Budget
5. Consideration of Resolution 2024-02 Designating a Date, Time, and Location for a Landowners' Meeting and Election (November 5, 2024)
6. Consideration of 2024 Non-Ad Valorem Contract Agreement with Polk County Property Appraiser
7. Ratification of 2024 Data Sharing and Usage Agreement with Polk County Property Appraiser
8. Ratification of Proposal for Arbitrage Rebate Services for Series 2022 Project Bonds from AMTEC
9. Presentation and Approval of Arbitrage Rebate Report for Series 2022 Project Bonds from AMTEC
10. Ratification of Acquisition Documents for Phase 1
11. Staff Reports
 - A. Attorney
 - B. Engineer
 - C. Field Manager's Report
 - D. District Manager's Report
 - i. Approval of Check Register
 - ii. Balance Sheet & Income Statement
12. Other Business
13. Supervisors Requests and Audience Comments
14. Adjournment

¹ Comments will be limited to three (3) minutes

MINUTES

**MINUTES OF MEETING
EAGLE HAMMOCK
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Eagle Hammock Community Development District was held on Thursday, **August 10, 2023** at 10:00 a.m. at the Offices of Highland Homes, 3020 S. Florida Ave., Suite 101, Lakeland, Florida.

Present and constituting a quorum were:

Milton Andrade	Chairman
Brian Walsh	Vice Chairman
Jeff Shenefield	Assistant Secretary
Garret Parkinson	Assistant Secretary

Also, present were:

Jill Burns	District Manager, GMS
Lauren Gentry	District Counsel, KVV Law
Rodney Gadd	District Engineer, Hunter Engineering
Clayton Smith	Field Manager, GMS
Allen Bailey	Field Manager, GMS

The following is a summary of the discussions and actions taken at the August 10, 2023 Eagle Hammock Community Development District's Regular Board of Supervisor's Meeting.

FIRST ORDER OF BUSINESS

Roll Call

Ms. Burns called the meeting to order. There were four Board members present constituting a quorum.

SECOND ORDER OF BUSINESS

Public Comment Period

There were no members of the public present at this time and no members of the public joining via Zoom.

THIRD ORDER OF BUSINESS

Approval of Minutes of the July 13, 2023 Board of Supervisors Meeting

Ms. Burns presented the minutes from the July 13, 2023 Board of Supervisors meeting. Ms. Burns asked for any questions, comments, or corrections to those minutes. The Board had no changes to the minutes.

On MOTION by Mr. Walsh seconded by Mr. Andrade, with all in favor, the Minutes of the July 13, 2023 Board of Supervisors Meeting, was approved.

FOURTH ORDER OF BUSINESS

Consideration of Resolution 2023-10 Ratifying Staff Actions Regarding Fiscal Year 2024 Budget

Ms. Burns stated after the budget was approved at the last meeting, there was an error in the field management line item and is higher than what is in the contract. It was listed at \$21,000 and it should have been \$15,000. She noted normally they would shift it for reserves or leave it, but this is the one that they were trying to get down as low as possible. She noted that line item has been updated to \$15,000 and reduced the per lot assessment by that amount. It is a savings of roughly \$20 a lot. This resolution ratifies the change of that error and approves the updated budget also the corresponding assessment roll for the lower amount.

On MOTION by Mr. Walsh, seconded by Mr. Andrade, with all in favor, Resolution 2023-10 Ratifying Staff Actions Regarding Fiscal Year 2024 Budget, was approved.

FIFTH ORDER OF BUSINESS

Consideration of Proposal for Arbitrage Rebate Services for the Series 2022 Project Bonds from AMTEC

Ms. Burns stated the cost for the required report is \$450 annually.

On MOTION by Mr. Andrade, seconded by Mr. Walsh, with all in favor, the Proposal for Arbitrage Rebate Services for the Series 2022 Project Bonds from AMTEC, was approved.

SIXTH ORDER OF BUSINESS

Consideration of Uniform Collection Agreement with Polk County Tax Collector

Ms. Burns stated this is their annual agreement that will allow us to collect our assessment on the tax bill this coming November.

On MOTION by Mr. Walsh, seconded by Mr. Andrade, with all in favor, the Uniform Collection Agreement with Polk County Tax Collector, was approved.

SEVENTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Ms. Gentry stated that she had nothing to report.

B. Engineer

Mr. Gadd stated he had nothing at this time.

C. Field Manager’s Report

Mr. Bailey stated that some of the palms around the amenity were trimmed up. There was the floor return missing that the pool vendor replaced in the pool. The landscape looks pretty good. There is an area that the CDD controls landscaping and is figuring out how to maintain back in the cul-de-sac area. The ponds look good. No major algae bloom with all of the heat and rain so it is going well. He noted in progress they are putting up some allegator and snake warnings, wildlife signs.

D. District Manager’s Report

i. Approval of Check Register

Ms. Burns noted approval of the check register for the month of June that is included in your package. The total is \$19,445.72,

On MOTION by Mr. Walsh, seconded by Mr. Andrade, with all in favor, the Check Register totaling \$19,445.72, was approved.

ii. Balance Sheet & Income Statement

Ms. Burns presented the financial statements through June for review. She asked for any questions on those. There is no action necessary from the Board.

EIGHTH ORDER OF BUSINESS

Other Business

There being no comments, the next item followed.

NINTH ORDER OF BUSINESS

**Supervisors Requests and Audience
Comments**

There being no comments, the next item followed.

TENTH ORDER OF BUSINESS

Adjournment

On MOTION by Mr. Andrade, seconded by Mr. Walsh, with all in favor, the meeting was adjourned.

Secretary/Assistant Secretary

Chairman/Vice Chairman

SECTION IV

RESOLUTION 2024-01

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT APPROVING A PROPOSED BUDGET FOR FISCAL YEAR 2024/2025 AND SETTING A PUBLIC HEARING THEREON PURSUANT TO FLORIDA LAW; ADDRESSING TRANSMITTAL, POSTING AND PUBLICATION REQUIREMENTS; ADDRESSING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager has heretofore prepared and submitted to the Board of Supervisors (“**Board**”) of the Eagle Hammock Community Development District (“**District**”) prior to June 15, 2024, proposed budget (“**Proposed Budget**”) for the fiscal year beginning October 1, 2024 and ending September 30, 2025 (“**Fiscal Year 2024/2025**”); and

WHEREAS, the Board has considered the Proposed Budget and desires to set the required public hearing thereon.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT:

1. **PROPOSED BUDGET APPROVED.** The Proposed Budget prepared by the District Manager for Fiscal Year 2024/2025 attached hereto as **Exhibit A** is hereby approved as the basis for conducting a public hearing to adopt said Proposed Budget.

2. **SETTING A PUBLIC HEARING.** A public hearing on said approved Proposed Budget is hereby declared and set for the following date, hour and location:

DATE: Thursday, July 11, 2024

HOUR: 10:00 AM

LOCATION: Offices of Highland Homes
3020 S. Florida Ave., Suite 101
Lakeland, Florida 33803

3. **TRANSMITTAL OF PROPOSED BUDGET TO LOCAL GENERAL PURPOSE GOVERNMENTS.** The District Manager is hereby directed to submit a copy of the Proposed Budget to Polk County and the City of Eagle Lake, at least 60 days prior to the hearing set above.

4. **POSTING OF PROPOSED BUDGET.** In accordance with Section 189.016, *Florida Statutes*, the District’s Secretary is further directed to post the approved Proposed Budget on the District’s website at least two days before the budget hearing date as set forth in Section 2 and to ensure that it remains on the website for at least 45 days.

5. **PUBLICATION OF NOTICE.** Notice of this public hearing shall be published in the manner prescribed in Florida law.

6. **SEVERABILITY.** The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

7. **EFFECTIVE DATE.** This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 11TH DAY OF APRIL 2024.

ATTEST:

**EAGLE HAMMOCK COMMUNITY
DEVELOPMENT DISTRICT**

Secretary

By: _____

Its: _____

Eagle Hammock
Community Development District

Proposed Budget
FY2025



Table of Contents

1-2	<u>General Fund</u>
3-7	<u>General Fund Narrative</u>
8	<u>Debt Services - Series 2022</u>
9	<u>Amortization Schedule</u>
10	<u>Capital Reserve Fund</u>

Eagle Hammock
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget FY2024	Actuals Thru 2/29/24	Projected Next 7 months	Total Thru 9/30/24	Proposed Budget FY2025
Revenues					
Assessments	\$ 351,000	\$ 264,339	\$ 86,661	\$ 351,000	\$ 377,298
Developer Contributions	\$ -	\$ 26,369	\$ -	\$ 26,369	\$ -
Total Revenues	\$ 351,000	\$ 290,708	\$ 86,661	\$ 377,369	\$ 377,298
Expenditures					
<i>General & Administrative</i>					
Supervisor Fees	\$ 12,000	\$ -	\$ 3,000	\$ 3,000	\$ 12,000
Engineering	\$ 15,000	\$ -	\$ 7,500	\$ 7,500	\$ 12,500
Attorney	\$ 12,500	\$ 1,738	\$ 2,434	\$ 4,172	\$ 12,500
Annual Audit	\$ 3,500	\$ -	\$ 3,500	\$ 3,500	\$ 4,000
Assessment Administration	\$ 5,000	\$ 5,000	\$ -	\$ 5,000	\$ 5,250
Arbitrage	\$ 450	\$ -	\$ 450	\$ 450	\$ 450
Dissemination	\$ 5,000	\$ 2,533	\$ 2,917	\$ 5,450	\$ 5,250
Trustee Fees	\$ 4,020	\$ -	\$ 4,041	\$ 4,041	\$ 4,041
Management Fees	\$ 37,100	\$ 15,458	\$ 21,642	\$ 37,100	\$ 38,955
Information Technology	\$ 1,800	\$ 750	\$ 1,050	\$ 1,800	\$ 1,890
Website Maintenance	\$ 1,200	\$ 500	\$ 700	\$ 1,200	\$ 1,260
Postage & Delivery	\$ 1,000	\$ 314	\$ 440	\$ 754	\$ 1,000
Insurance	\$ 5,750	\$ 5,175	\$ -	\$ 5,175	\$ 5,951
Copies	\$ 1,000	\$ -	\$ 100	\$ 100	\$ 500
Legal Advertising	\$ 5,000	\$ -	\$ 4,088	\$ 4,088	\$ 5,000
Contingency	\$ 2,500	\$ 1,195	\$ 3,885	\$ 5,080	\$ 2,500
Office Supplies	\$ 625	\$ 3	\$ 35	\$ 38	\$ -
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ -	\$ 175	\$ 175
Total General & Administrative:	\$ 113,620	\$ 32,842	\$ 55,780	\$ 88,622	\$ 113,222

Eagle Hammock
Community Development District
Proposed Budget
General Fund

Description	Adopted Budget FY2024	Actuals Thru 2/29/24	Projected Next 7 months	Total Thru 9/30/24	Proposed Budget FY2025
<u>Operations & Maintenance</u>					
<u>Field Services</u>					
Property Insurance	\$ 10,100	\$ 8,595	\$ -	\$ 8,595	\$ 10,100
Field Management	\$ 15,000	\$ 6,250	\$ 8,750	\$ 15,000	\$ 15,000
Landscape Maintenance	\$ 47,500	\$ 16,030	\$ 22,442	\$ 38,472	\$ 47,500
Landscape Replacement	\$ 10,000	\$ -	\$ 5,000	\$ 5,000	\$ 12,000
Lake Maintenance	\$ 8,400	\$ 3,500	\$ 4,900	\$ 8,400	\$ 8,400
Streetlights	\$ 45,000	\$ 12,011	\$ 16,815	\$ 28,826	\$ 39,766
Electric	\$ 2,500	\$ 96	\$ 134	\$ 230	\$ 2,500
Water & Sewer	\$ 2,500	\$ 489	\$ 684	\$ 1,173	\$ 2,500
Sidewalk & Asphalt Maintenance	\$ 2,500	\$ -	\$ 1,250	\$ 1,250	\$ 2,500
Irrigation Repairs	\$ 7,500	\$ 84	\$ 1,750	\$ 1,834	\$ 5,000
General Repairs & Maintenance	\$ 10,000	\$ 348	\$ 1,020	\$ 1,368	\$ 12,500
Contingency	\$ 5,000	\$ -	\$ 2,500	\$ 2,500	\$ 5,000
Subtotal Field Expenditures	\$ 166,000	\$ 47,402	\$ 65,246	\$ 112,647	\$ 162,766
<u>Amenity Expenditures</u>					
Amenity - Electric	\$ 8,000	\$ 2,145	\$ 3,003	\$ 5,147	\$ 8,000
Amenity - Water	\$ 10,000	\$ 3,494	\$ 4,891	\$ 8,385	\$ 10,000
Internet	\$ 2,000	\$ 365	\$ 1,316	\$ 1,681	\$ 2,000
Pest Control	\$ 480	\$ 720	\$ 840	\$ 1,560	\$ 1,760
Janitorial Service	\$ 12,200	\$ 3,775	\$ 5,075	\$ 8,850	\$ 5,700
Security Services	\$ 5,000	\$ 1,332	\$ 3,668	\$ 5,000	\$ 5,000
Pool Maintenance	\$ 16,200	\$ 6,750	\$ 9,450	\$ 16,200	\$ 16,800
Amenity Repairs & Maintenance	\$ 5,000	\$ 953	\$ 1,500	\$ 2,453	\$ 12,500
Amenity Management	\$ 5,000	\$ 2,083	\$ 2,917	\$ 5,000	\$ 5,750
Contingency	\$ 7,500	\$ -	\$ 3,750	\$ 3,750	\$ 7,500
Subtotal Amenity Expenditures	\$ 71,380	\$ 21,617	\$ 36,409	\$ 58,027	\$ 75,010
Total Operations & Maintenance:	\$ 237,380	\$ 69,019	\$ 101,655	\$ 170,674	\$ 237,776
<u>Other Financing Sources/(Uses)</u>					
Transfer Out - Capital Reserve	\$ -	\$ -	\$ -	\$ -	\$ 26,300
Total Other Expenditures	\$ -	\$ -	\$ -	\$ -	\$ 26,300
Total Expenditures	\$ 351,000	\$ 101,861	\$ 157,435	\$ 259,296	\$ 377,298
Excess Revenues/(Expenditures)	\$ -	\$ 188,847	\$ (70,774)	\$ 118,073	\$ -

Product	ERU's	Assessable Units	ERU/Unit	Net Assessment	Net Per Unit (7%)	Gross Per Unit
Platted	263.00	263	1.00	\$377,298.25	\$1,434.59	\$1,542.57
				\$377,298.25		

Eagle Hammock

Community Development District

General Fund Narrative

Revenues:

Assessments

The District will levy a non-ad valorem assessment on all assessable property within the District to fund all general operating and maintenance expenditures during the fiscal year.

Expenditures:

General & Administrative:

Supervisor Fees

Chapter 190, Florida Statutes, allows for each Board member to receive \$200 per meeting, not to exceed \$4,800 per year paid to each Supervisor for the time devoted to District business and meetings.

Engineering

The District's engineer provides general engineering services to the District, e.g. attendance and preparation for monthly board meetings, review invoices and various projects as directed by the Board of Supervisors and the District Manager.

Attorney

The District's legal counsel provides general legal services to the District, e.g. attendance and preparation for meetings, preparation and review of agreements, resolutions, etc. as directed by the Board of Supervisors and the District Manager.

Annual Audit

The District is required by Florida Statutes to arrange for an independent audit of its financial records on an annual basis.

Assessment Administration

The District will contract to levy and administer the collection of non-ad valorem assessment on all assessable property within the District.

Arbitrage

The District will contract with an independent certified public accountant to annually calculate the District's Arbitrage Rebate Liability on the Series 2022 bonds.

Dissemination

The District is required by the Security and Exchange Commission to comply with Rule 15c2-12(b)(5) which relates to additional reporting requirements for unrated bond issues. This cost is based on the Series 2022 bonds.

Eagle Hammock Community Development District General Fund Narrative

Trustee Fees

The District will incur trustee related costs with the issuance of its' Series 2022 bonds.

Management Fees

The District receives Management, Accounting and Administrative services as part of a Management Agreement with Governmental Management Services-Central Florida, LLC. The services include but are not limited to, recording and transcription of board meetings, administrative services, budget preparation, all financial reports, annual audits, etc.

Information Technology

Represents various cost of information technology for the District such as video conferencing, cloud storage and servers, positive pay implementation and programming for fraud protection, accounting software, tablets for meetings, Adobe, Microsoft Office, etc.

Website Maintenance

Represents the costs associated with monitoring and maintaining the District's website created in accordance with Chapter 189, Florida Statutes. These services include site performance assessments, security and firewall maintenance, updates, document uploads, hosting and domain renewals, website backups, etc.

Postage & Delivery

The District incurs charges for mailing of Board meeting agenda packages, overnight deliveries, correspondence, etc.

Insurance

The District's general liability and public official's liability insurance coverages.

Copies

Printing agenda materials for board meetings, printing of computerized checks, stationary, envelopes, etc.

Legal Advertising

The District is required to advertise various notices for monthly Board meetings, public hearings, etc. in a newspaper of general circulation.

Contingency

Bank charges and any other miscellaneous expenses incurred during the year.

Office Supplies

Any supplies that may need to be purchased during the fiscal year, e.g., paper, minute books, file folders, labels, paper clips, etc.

Eagle Hammock

Community Development District

General Fund Narrative

Dues, Licenses & Subscriptions

The District is required to pay an annual fee to the Florida Department of Economic Opportunity for \$175. This is the only expense under this category for the District.

Operations & Maintenance:

Field Services

Property Insurance

The District's property insurance coverages.

Field Management

The District has contracted with Governmental Management Services – Central Florida, LLC to provide onsite field management of contracts for the District such as landscape maintenance. Services can include onsite inspections, meetings with contractors, monitoring of utility accounts, attend Board meetings and receive and respond to property owner phone calls and emails.

Landscape Maintenance

The District has a contract with Prince & Sons, Inc. to maintain the landscaping located within the District. These services include monthly landscape maintenance such as mowing of turf areas, pruning and trimming, plant bed weed control, fertilization and irrigation inspections.

Landscape Replacement

Represents the estimated cost of replacing landscaping within the common areas of the District.

Lake Maintenance

Represents the estimated cost for the care and maintenance of the Districts lakes which includes shoreline grass, brush, and vegetation control.

Streetlights

Represents the cost to maintain street lights within the District Boundaries that are expected to be in place throughout the fiscal year.

Electric

Represents current and estimated electric charges of common areas throughout the District.

Water & Sewer

Represents current and estimated costs for water and refuse services provided for common areas throughout the District.

Eagle Hammock

Community Development District

General Fund Narrative

Sidewalk & Asphalt Maintenance

Represents the estimated costs of maintaining the sidewalks and asphalt throughout the District's Boundary.

Irrigation Repairs

Represents the cost of maintaining and repairing the irrigation system. This includes the sprinklers, and irrigation wells.

General Repairs & Maintenance

Represents estimated costs for general repairs and maintenance of the District's common areas.

Contingency

Represents funds allocated to expenses that the District could incur throughout the fiscal year that do not fit into any field category.

Amenity Expenses

Amenity - Electric

Represents estimated electric charges for the District's amenity facilities.

Amenity - Water

Represents estimated water charges for the District's amenity facilities.

Internet

Internet service will be added for use at the Amenity Center.

Pest Control

The District will incur costs for pest control treatments to its amenity facilities.

Janitorial Services

Represents costs to provide janitorial services and supplies for the District's amenity facilities.

Security Services

Represents the cost of contracting a monthly security service for the District's amenity facilities.

Pool Maintenance

Represents the costs of regular cleaning and treatments of the District's pool.

Amenity Repairs & Maintenance

Represents estimated costs for repairs and maintenance of the District's amenity facilities.

Eagle Hammock Community Development District General Fund Narrative

Amenity Access Management

Represents the cost of managing the monitoring access to the District's amenity facilities.

Contingency

Represents funds allocated to expenses that the District could incur throughout the fiscal year that do not fit into any amenity category.

Other Financing Sources/(Uses)

Transfer Out - Capital Reserve

Funds collected and reserved for the replacement of and/or purchase of new capital improvements throughout the District.

Eagle Hammock
Community Development District
Proposed Budget
Debt Service Fund Series 2022

Description	Adopted Budget FY2024	Actuals Thru 2/29/24	Projected Next 7 months	Projected Thru 9/30/24	Proposed Budget FY2025
Revenues					
Assessments	\$ 249,270	\$ 169,127	\$ 80,143	\$ 249,270	\$ 207,561
Assessments - Prepayment	\$ -	\$ 160,298	\$ -	\$ 160,298	\$ -
Interest	\$ -	\$ 8,283	\$ 11,596	\$ 19,879	\$ -
Carry Forward Surplus ⁽¹⁾	\$ 215,169	\$ 513,449	\$ -	\$ 513,449	\$ 139,708
Total Revenues	\$ 464,440	\$ 851,156	\$ 91,739	\$ 942,895	\$ 347,270
Expenditures					
Interest - 11/1	\$ 95,809	\$ 95,809	\$ -	\$ 95,809	\$ 79,978
Special Call - 11/1	\$ -	\$ 365,000	\$ -	\$ 365,000	\$ -
Special Call - 2/1	\$ -	\$ 120,000	\$ 70,000	\$ 190,000	\$ -
Interest - 2/1	\$ -	\$ 1,569	\$ -	\$ 1,569	\$ -
Principal - 5/1	\$ 55,000	\$ -	\$ 55,000	\$ 55,000	\$ 50,000
Interest - 5/1	\$ 95,809	\$ -	\$ 95,809	\$ 95,809	\$ 79,978
Total Expenditures	\$ 246,618	\$ 582,378	\$ 220,809	\$ 803,187	\$ 209,956
Excess Revenues/(Expenditures)	\$ 217,821	\$ 268,778	\$ (129,070)	\$ 139,708	\$ 137,313

Interest - 11/1 \$ 78,884.38

⁽¹⁾ Carryforward Surplus is net of Debt Service Reserve Funds

Product	Assessable Units	Net Assessment	Net Per Unit	Gross Per Unit
Single Family - 40'	147	\$129,080	\$878.10	\$944.19
Single Family - 50'	69	\$75,736	\$1,097.62	\$1,180.24
Single Family - 50' - Partial Pay Down	5	\$2,745	\$549.00	\$590.32
Total	221	\$207,561		

Eagle Hammock
Community Development District
Series 2022 Special Assessment Bonds
Amortization Schedule

Date	Balance	Principal	Interest	Total
11/01/24	\$ 3,035,000.00	\$ -	\$ 79,978.13	\$ 79,978.13
05/01/25	\$ 3,035,000.00	\$ 50,000.00	\$ 79,978.13	
11/01/25	\$ 2,985,000.00	\$ -	\$ 78,884.38	208,862.50
05/01/26	\$ 2,985,000.00	\$ 55,000.00	\$ 78,884.38	
11/01/26	\$ 2,930,000.00	\$ -	\$ 77,681.25	211,565.63
05/01/27	\$ 2,930,000.00	\$ 55,000.00	\$ 77,681.25	
11/01/27	\$ 2,875,000.00	\$ -	\$ 76,478.13	209,159.38
05/01/28	\$ 2,875,000.00	\$ 55,000.00	\$ 76,478.13	
11/01/28	\$ 2,820,000.00	\$ -	\$ 75,137.50	206,615.63
05/01/29	\$ 2,820,000.00	\$ 60,000.00	\$ 75,137.50	
11/01/29	\$ 2,760,000.00	\$ -	\$ 73,675.00	208,812.50
05/01/30	\$ 2,760,000.00	\$ 65,000.00	\$ 73,675.00	
11/01/30	\$ 2,695,000.00	\$ -	\$ 72,090.63	210,765.63
05/01/31	\$ 2,695,000.00	\$ 65,000.00	\$ 72,090.63	
11/01/31	\$ 2,630,000.00	\$ -	\$ 70,506.25	207,596.88
05/01/32	\$ 2,630,000.00	\$ 70,000.00	\$ 70,506.25	
11/01/32	\$ 2,560,000.00	\$ -	\$ 68,800.00	209,306.25
05/01/33	\$ 2,560,000.00	\$ 75,000.00	\$ 68,800.00	
11/01/33	\$ 2,485,000.00	\$ -	\$ 66,784.38	210,584.38
05/01/34	\$ 2,485,000.00	\$ 80,000.00	\$ 66,784.38	
11/01/34	\$ 2,405,000.00	\$ -	\$ 64,634.38	211,418.75
05/01/35	\$ 2,405,000.00	\$ 80,000.00	\$ 64,634.38	
11/01/35	\$ 2,325,000.00	\$ -	\$ 62,484.38	207,118.75
05/01/36	\$ 2,325,000.00	\$ 85,000.00	\$ 62,484.38	
11/01/36	\$ 2,240,000.00	\$ -	\$ 60,200.00	207,684.38
05/01/37	\$ 2,240,000.00	\$ 90,000.00	\$ 60,200.00	
11/01/37	\$ 2,150,000.00	\$ -	\$ 57,781.25	207,981.25
05/01/38	\$ 2,150,000.00	\$ 95,000.00	\$ 57,781.25	
11/01/38	\$ 2,055,000.00	\$ -	\$ 55,228.13	208,009.38
05/01/39	\$ 2,055,000.00	\$ 100,000.00	\$ 55,228.13	
11/01/39	\$ 1,955,000.00	\$ -	\$ 52,540.63	207,768.75
05/01/40	\$ 1,955,000.00	\$ 105,000.00	\$ 52,540.63	
11/01/40	\$ 1,850,000.00	\$ -	\$ 49,718.75	207,259.38
05/01/41	\$ 1,850,000.00	\$ 115,000.00	\$ 49,718.75	
11/01/41	\$ 1,735,000.00	\$ -	\$ 46,628.13	211,346.88
05/01/42	\$ 1,735,000.00	\$ 120,000.00	\$ 46,628.13	
11/01/42	\$ 1,615,000.00	\$ -	\$ 43,403.13	210,031.25
05/01/43	\$ 1,615,000.00	\$ 125,000.00	\$ 43,403.13	
11/01/43	\$ 1,490,000.00	\$ -	\$ 40,043.75	208,446.88
05/01/44	\$ 1,490,000.00	\$ 130,000.00	\$ 40,043.75	
11/01/44	\$ 1,360,000.00	\$ -	\$ 36,550.00	206,593.75
05/01/45	\$ 1,360,000.00	\$ 140,000.00	\$ 36,550.00	
11/01/45	\$ 1,220,000.00	\$ -	\$ 32,787.50	209,337.50
05/01/46	\$ 1,220,000.00	\$ 145,000.00	\$ 32,787.50	
11/01/46	\$ 1,075,000.00	\$ -	\$ 28,890.63	206,678.13
05/01/47	\$ 1,075,000.00	\$ 155,000.00	\$ 28,890.63	
11/01/47	\$ 920,000.00	\$ -	\$ 24,725.00	208,615.63
05/01/48	\$ 920,000.00	\$ 165,000.00	\$ 24,725.00	
11/01/48	\$ 755,000.00	\$ -	\$ 20,290.63	210,015.63
05/01/49	\$ 755,000.00	\$ 175,000.00	\$ 20,290.63	
11/01/49	\$ 580,000.00	\$ -	\$ 15,587.50	210,878.13
05/01/50	\$ 580,000.00	\$ 185,000.00	\$ 15,587.50	-
11/01/50	\$ 395,000.00	\$ -	\$ 10,615.63	211,203.13
05/01/51	\$ 395,000.00	\$ 190,000.00	\$ 10,615.63	-
11/01/51	\$ 205,000.00	\$ -	\$ 5,509.38	206,125.00
05/01/52	\$ 205,000.00	\$ 205,000.00	\$ 5,509.38	210,509.38
		\$ 3,035,000.00	\$ 2,895,268.75	\$ 5,930,268.75

Eagle Hammock
Community Development District
Proposed Budget
Capital Reserve Fund

	Adopted Budget FY2024	Actuals Thru 2/29/24	Projected Next 7 months	Total Projected 9/30/24	Proposed Budget FY2025
Revenues					
Carry Forward Surplus	\$ -	\$ -	\$ -	\$ -	\$ -
Total Revenues	\$ -	\$ -	\$ -	\$ -	\$ -
Expenditures					
Capital Outlay	\$ -	\$ -	\$ -	\$ -	\$ -
Total Expenditures	\$ -	\$ -	\$ -	\$ -	\$ -
Other Financing Sources/(Uses)					
Transfer In	\$ -	\$ -	\$ -	\$ -	\$ 26,300
Total Other Financing Sources/(Uses)	\$ -	\$ -	\$ -	\$ -	\$ 26,300
Excess Revenues/(Expenditures)	\$ -	\$ -	\$ -	\$ -	\$ 26,300

SECTION V

RESOLUTION 2024-02

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT DESIGNATING A DATE, TIME AND LOCATION FOR A LANDOWNERS’ MEETING AND ELECTION; PROVIDING FOR PUBLICATION; ESTABLISHING FORMS FOR THE LANDOWNER ELECTION; AND PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, Eagle Hammock Community Development District (“**District**”) is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*, being situated within the City of Eagle Lake, Polk County, Florida; and

WHEREAS, pursuant to Section 190.006(1), *Florida Statutes*, the District’s Board of Supervisors (“**Board**”) “shall exercise the powers granted to the district pursuant to [Chapter 190, *Florida Statutes*],” and the Board shall consist of five members; and

WHEREAS, the District is statutorily required to hold a meeting of the landowners of the District for the purpose of electing Board Supervisors for the District on the first Tuesday of the month in November, which shall be noticed pursuant to Section 190.006(2), *Florida Statutes*.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT:

1. **EXISTING BOARD SUPERVISORS; SEATS SUBJECT TO ELECTIONS.** The Board is currently made up of the following individuals:

<u>Seat Number</u>	<u>Supervisor</u>	<u>Term Expiration Date</u>
1	Joel Adams	11/2026
2	Milton Andrade	11/2024
3	Garret Parkinson	11/2024
4	Brian Walsh	11/2026
5	Jeffrey Shenefield	11/2024

This year, Seat 2, currently held by Milton Andrade, Seat 3, currently held by Garret Parkinson, and Seat 5, currently held by Jeffrey Shenefield, are subject to election by landowners in November 2024. The two candidates receiving the highest number of votes shall be elected for a term of four (4) years. The candidate receiving the next highest number of votes shall be elected for a term of two (2) years. The term of office for each successful candidate shall commence upon election.

2. **LANDOWNER’S ELECTION.** In accordance with Section 190.006(2), *Florida Statutes*, the meeting of the landowners to elect Board Supervisor(s) of the District shall be held on the **5th day of November 2024, at 1:00 PM** and located at the **Holiday Inn—Winter Haven, 200 Cypress Gardens Blvd., Winter Haven, FL 33880.**

3. **PUBLICATION.** The District’s Secretary is hereby directed to publish notice of the landowners’ meeting and election in accordance with the requirements of Section 190.006(2), *Florida Statutes*.

4. **FORMS.** Pursuant to Section 190.006(2)(b), *Florida Statutes*, the landowners’ meeting and election have been announced by the Board at its **April 11, 2024** meeting. A sample notice of

landowners' meeting and election, proxy, ballot form and instructions were presented at such meeting and are attached hereto as **Exhibit A**. Such documents are available for review and copying during normal business hours at the office of the District Manager, Governmental Management Services – Central Florida LLC, located at 219 East Livingston Street, Orlando, Florida 32801.

5. **SEVERABILITY.** The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

6. **EFFECTIVE DATE.** This Resolution shall become effective upon its passage.

PASSED AND ADOPTED THIS 11TH DAY OF APRIL 2024.

**EAGLE HAMMOCK COMMUNITY
DEVELOPMENT DISTRICT**

ATTEST:

CHAIRPERSON / VICE CHAIRPERSON

SECRETARY / ASST. SECRETARY

EXHIBIT A

NOTICE OF LANDOWNERS' MEETING AND ELECTION AND MEETING OF THE BOARD OF SUPERVISORS OF EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT

Notice is hereby given to the public and all landowners within Eagle Hammock Community Development District (the "District"), the location of which is generally described as comprising a parcel or parcels of land containing approximately 108.8 acres, generally located East of Hwy 17, and immediately North of Wright Road within the City of Eagle Lake, Florida, advising that a meeting of landowners will be held for the purpose of electing three (3) persons to the District Board of Supervisors. Immediately following the landowners' meeting and election there may be convened a meeting of the Board of Supervisors for the purpose of considering certain matters of the Board to include election of certain District officers, and other such business which may properly come before the Board.

DATE: Tuesday, November 5, 2024
TIME: 1:00 PM
PLACE: Holiday Inn—Winter Haven
200 Cypress Gardens Blvd.
Winter Haven, Florida 33880

Each landowner may vote in person or by written proxy. Proxy forms may be obtained upon request at the office of the District Manager, c/o Governmental Management Services – Central Florida LLC, 219 E. Livingston Street, Orlando, Florida 32801 ("District Office"). At said meeting each landowner or his or her proxy shall be entitled to nominate persons for the position of Supervisor and cast one vote per acre of land, or fractional portion thereof, owned by him or her and located within the District for each person to be elected to the position of Supervisor. A fraction of an acre shall be treated as one acre, entitling the landowner to one vote with respect thereto. Platted lots shall be counted individually and rounded up to the nearest whole acre. The acreage of platted lots shall not be aggregated for determining the number of voting units held by a landowner or a landowner's proxy. At the landowners' meeting the landowners shall select a person to serve as the meeting chair and who shall conduct the meeting.

The landowners' meeting and the Board of Supervisors meeting are open to the public and will be conducted in accordance with the provisions of Florida law. One or both of the meetings may be continued to a date, time, and place to be specified on the record at such meeting. A copy of the agenda for these meetings may be obtained from the District Office. There may be an occasion where one or more supervisors will participate by speaker telephone.

Any person requiring special accommodations to participate in these meetings is asked to contact the District Office at (407) 841-5524, at least forty-eight (48) hours before the hearing. If you are hearing or speech impaired, please contact the Florida Relay Service at 7-1-1 or (800) 955-8770 for aid in contacting the District Office.

A person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that such person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which the appeal is to be based.

**INSTRUCTIONS RELATING TO LANDOWNERS' MEETING OF
EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT
FOR THE ELECTION OF SUPERVISORS**

DATE OF LANDOWNERS' MEETING: **Tuesday, November 5, 2024**

TIME: **1:00 PM**

LOCATION: **Holiday Inn—Winter Haven, 200 Cypress Gardens Blvd., Winter Haven, Florida
33880**

Pursuant to Chapter 190, *Florida Statutes*, and after a Community Development District (“**District**”) has been established and the landowners have held their initial election, there shall be a subsequent landowners’ meeting for the purpose of electing members of the Board of Supervisors (“**Board**”) every two years until the District qualifies to have its board members elected by the qualified electors of the District. The following instructions on how all landowners may participate in the election are intended to comply with Section 190.006(2)(b), *Florida Statutes*.

A landowner may vote in person at the landowners’ meeting, or the landowner may nominate a proxy holder to vote at the meeting in place of the landowner. Whether in person or by proxy, each landowner shall be entitled to cast one vote per acre of land owned by him or her and located within the District, for each position on the Board that is open for election for the upcoming term. A fraction of an acre shall be treated as one (1) acre, entitling the landowner to one vote with respect thereto. For purposes of determining voting interests, platted lots shall be counted individually and rounded up to the nearest whole acre. Moreover, please note that a particular parcel of real property is entitled to only one vote for each eligible acre of land or fraction thereof; therefore, two or more people who own real property in common, that is one acre or less, are together entitled to only one vote for that real property.

At the landowners’ meeting, the first step is to elect a chair for the meeting, who may be any person present at the meeting. The landowners shall also elect a secretary for the meeting who may be any person present at the meeting. The secretary shall be responsible for the minutes of the meeting. The chair shall conduct the nominations and the voting. If the chair is a landowner or proxy holder of a landowner, he or she may nominate candidates and make second motions. Candidates must be nominated and then shall be elected by a vote of the landowners. Nominees may be elected only to a position on the Board that is open for election for the upcoming term.

This year, three (3) seats on the Board will be up for election by landowners. The two candidates receiving the highest number of votes shall be elected for a term of four (4) years. The candidate receiving the next highest number of votes shall be elected for a term of two (2) years. The term of office for each successful candidate shall commence upon election.

A proxy is available upon request. To be valid, each proxy must be signed by one of the legal owners of the property for which the vote is cast and must contain the typed or printed name of the individual who signed the proxy; the street address, legal description of the property or tax parcel identification number; and the number of authorized votes. If the proxy authorizes more than one vote, each property must be listed and the number of acres of each property must be included. The signature on a proxy does not need to be notarized.

**LANDOWNER PROXY
 EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT
 POLK COUNTY, FLORIDA
 LANDOWNERS' MEETING –Tuesday, November 5, 2024**

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, the fee simple owner of the lands described herein, hereby constitutes and appoints _____ (“**Proxy Holder**”) for and on behalf of the undersigned, to vote as proxy at the meeting of the landowners of Eagle Hammock Community Development District to be held at **the Holiday Inn—Winter Haven, 200 Cypress Gardens Blvd., Winter Haven, Florida 33880, on Tuesday, November 5, 2024 at 1:00 PM**, and at any adjournments thereof, according to the number of acres of unplatted land and/or platted lots owned by the undersigned landowner that the undersigned would be entitled to vote if then personally present, upon any question, proposition, or resolution or any other matter or thing that may be considered at said meeting including, but not limited to, the election of members of the Board of Supervisors. Said Proxy Holder may vote in accordance with his or her discretion on all matters not known or determined at the time of solicitation of this proxy, which may legally be considered at said meeting.

Any proxy heretofore given by the undersigned for said meeting is hereby revoked. This proxy is to continue in full force and effect from the date hereof until the conclusion of the landowners’ meeting and any adjournment or adjournments thereof, but may be revoked at any time by written notice of such revocation presented at the landowners’ meeting prior to the Proxy Holder’s exercising the voting rights conferred herein.

 Printed Name of Legal Owner

 Signature of Legal Owner

 Date

<u>Parcel Description</u>	<u>Acreage</u>	<u>Authorized Votes</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

[Insert above the street address of each parcel, the legal description of each parcel, or the tax identification number of each parcel. If more space is needed, identification of parcels owned may be incorporated by reference to an attachment hereto.]

Total Number of Authorized Votes: _____

NOTES: Pursuant to Section 190.006(2)(b), *Florida Statutes* (2021), a fraction of an acre is treated as one (1) acre entitling the landowner to one vote with respect thereto. Moreover, two (2) or more persons who own real property in common that is one acre or less are together entitled to only one vote for that real property.

If the fee simple landowner is not an individual, and is instead a corporation, limited liability company, limited partnership or other entity, evidence that the individual signing on behalf of the entity has the authority to do so should be attached hereto (e.g., bylaws, corporate resolution, etc.).

OFFICIAL BALLOT
EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT
POLK COUNTY, FLORIDA
LANDOWNERS' MEETING –TUESDAY, NOVEMBER 5, 2024

For Election (3 Supervisors): The two (2) candidates receiving the highest number of votes will each receive a four (4) year term, and the one (1) candidate receiving the next highest number of votes will receive a two (2) year term, with the term of office for the successful candidates commencing upon election.

The undersigned certifies that he/she/it is the fee simple owner of land, or the proxy holder for the fee simple owner of land, located within the Eagle Hammock Community Development District and described as follows:

<u>Description</u>	<u>Acreage</u>
_____	_____
_____	_____
_____	_____

[Insert above the street address of each parcel, the legal description of each parcel, or the tax identification number of each parcel.] [If more space is needed, identification of parcels owned may be incorporated by reference to an attachment hereto.]

or

Attach Proxy.

I, _____, as Landowner, or as the proxy holder of _____ (Landowner) pursuant to the Landowner's Proxy attached hereto, do cast my votes as follows:

SEAT #	NAME OF CANDIDATE	NUMBER OF VOTES
2		
3		
5		

Date: _____

Signed: _____

Printed Name: _____

SECTION VI

CONTRACT AGREEMENT

This Agreement made and entered into on Wednesday, January 31, 2024 by and between the Eagle Hammock Community Development District, a local unit of special purpose government of the State of Florida hereinafter referred to as the 'Special District', and Marsha M. Faux, Polk County Property Appraiser, a Constitutional Officer of the State of Florida, whose address is 255 North Wilson Ave., Bartow, FL 33830, hereinafter referred to as the 'Property Appraiser'.

1. Section [197.3632](#) Florida Statutes, provides that special assessments of non-ad valorem taxes levied by the Special District may be included in the assessment rolls of the County and collected in conjunction with ad valorem taxes as assessed by the Property Appraiser. Pursuant to that option, the Property Appraiser and the Special District shall enter into an agreement providing for reimbursement to the Property Appraiser of administrative costs, including costs of inception and maintenance, incurred as a result of such inclusion.
2. The parties herein agree that, for the 2024 tax year assessment roll, the Property Appraiser will include on the assessment rolls such special assessments as are certified to her by the Eagle Hammock Community Development District.
3. The term of this Agreement shall commence on January 1, 2024 or the date signed below, whichever is later, and shall run until December 31, 2024, the date of signature by the parties notwithstanding. This Agreement shall not automatically renew.
4. The Special District shall meet all relevant requirements of Section [197.3632](#) & [190.021](#) Florida Statutes.
5. The Special District shall furnish the Property Appraiser with up-to-date data concerning its boundaries and proposed assessments, and other information as requested by the Property Appraiser to facilitate in administering the non-ad valorem assessment in question. Specifically, if assessments will be included on the 2024 TRIM Notice, the Special District shall provide **proposed assessments no later than Friday, July 12, 2024**. The Special District's assessments shall, as far as practicable, be uniform (e.g. one uniform assessment for maintenance, etc.) to facilitate the making of the assessments by the mass data techniques utilized by the Property Appraiser.
6. The Special District shall certify to the Property Appraiser the Special District's annual installment and levy **no later than Friday, September 13, 2024**. The Property Appraiser shall, using the information provided by the Special District, place the Special District's non ad-valorem special assessments on properties within the district for inclusion on the 2024 tax roll.
7. The Property Appraiser shall be compensated by the Special District for the administrative costs incurred in carrying out this Agreement at the rate of 1% of the amount levied on the TRIM Notice or if the TRIM Notice is not used, the rate shall be 1% of the amount levied on the 2024 tax roll. For the TRIM Notice, the Property Appraiser will require **payment on or before Friday, September 13, 2024** for processing within the Property Appraiser budget year (October 1st – September 30th).
8. If the actual costs of performing the services under this agreement exceed the compensation provided for in Paragraph 7, the amount of compensation shall be the actual costs of performing the services under this agreement.
9. If tax roll corrections are requested by the Special District, the Property Appraiser shall be compensated by the Special District for the administrative costs incurred at the rate of \$5.00 for each tax roll correction exceeding ten (10) corrections per tax year.

The Special District shall indemnify and hold harmless, to the extent permitted by Florida law and without waiving its right of any applicable sovereign immunity, the Property Appraiser and all respective officers, employees, agents and instrumentalities from any and all liability, losses or damages, including attorneys' fees and costs of defense, which the Property Appraiser and all respective officers, employees, agents or instrumentalities may incur as a result of claims, demands, suits, causes of actions or proceedings of any kind or nature arising out of, relating to or resulting from the negligent or intentional acts or omissions of the Special District or its employees, agents, servants, partners, principals, or subcontractors arising out of, relating to, or resulting from the performance of the Agreement. The Special District shall pay all claims and losses in connection therewith and shall investigate and defend all claims, suits or actions of any kind or nature in the name of the Property Appraiser where applicable, including appellate proceedings, and shall pay all costs, judgments, and attorneys' fees which may issue thereon.

EXECUTED By:

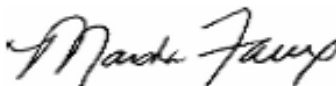
Special District Representative

Print name

Title

Date

Marsha M. Faux, CFA, ASA
Polk County Property Appraiser
By:



Marsha M. Faux, Property Appraiser

SECTION VII



Marsha M. Faux, CFA, ASA
POLK COUNTY PROPERTY APPRAISER

Revised 12/2023
ADA Compliant

2024 Data Sharing and Usage Agreement

This Data Sharing and Usage Agreement, hereinafter referred to as "Agreement," establishes the terms and conditions under which the Eagle Hammock Community Development District hereinafter referred to as "agency," can acquire and use Polk County Property Appraiser data that is exempt from Public Records disclosure as defined in [FS 119.071](#).

In accordance with the terms and conditions of this Agreement, the agency agrees to protect confidential data in accordance with [FS 282.3185](#) and [FS 501.171](#) and adhere to the standards set forth within these statutes.

For the purposes of this Agreement, all data is provided. It is the responsibility of the agency to apply all statutory guidelines relative to confidentiality and personal identifying information.

The confidentiality of personal identifying information including: names, mailing address and OR Book and Pages pertaining to parcels owned by individuals that have received exempt / confidential status, hereinafter referred to as "confidential data," will be protected as follows:

1. The **agency** will not release **confidential data** that may reveal identifying information of individuals exempted from Public Records disclosure.
2. The **agency** will not present the **confidential data** in the results of data analysis (including maps) in any manner that would reveal personal identifying information of individuals exempted from Public Records disclosure.
3. The **agency** shall comply with all state laws and regulations governing the confidentiality and exempt status of personal identifying and location information that is the subject of this Agreement.
4. The **agency** shall ensure any employee granted access to **confidential data** is subject to the terms and conditions of this Agreement.
5. The **agency** shall ensure any third party granted access to **confidential data** is subject to the terms and conditions of this Agreement. Acceptance of these terms must be provided in writing to the **agency** by the third party before personal identifying information is released.
6. The **agency** agrees to comply with all regulations for the security of confidential personal information as defined in [FS 501.171](#).
7. The **agency**, when defined as "local government" by [FS 282.3185](#), is required to adhere to all cybersecurity guidelines when in possession of data provided or obtained from the Polk County Property Appraiser.

The term of this Agreement shall commence on **January 1, 2024**, and shall run until **December 31, 2024**, the date of signature by the parties notwithstanding. **This Agreement shall not automatically renew.** A new agreement will be provided annually to ensure all responsible parties are aware of and maintain the terms and conditions of this Data Sharing and Usage Agreement.

In witness of their agreement to the terms above, the parties or their authorized agents hereby affix their signatures.

POLK COUNTY PROPERTY APPRAISER

Signature:

Print: Marsha M. Faux CFA, ASA

Title: Polk County Property Appraiser

Date: December 1, 2023

DocuSigned by:

Agency: Eagle Hammock CDD

Signature:

Print: 05F2744F40FE41E... Milton Andrade

Title: Chairman

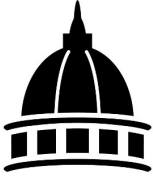
Date: 1/8/2024

Please email the signed agreement to pataxroll@polk-county.net.

SECTION VIII

**Arbitrage Rebate Computation
Proposal For
Eagle Hammock
Community Development District
(City of Eagle Lake, Florida)
\$3,800,000 Special Assessment Bonds,
Series 2022 (Series 2022 Project)**





AMTEC

American Municipal Tax-Exempt Compliance

90 Avon Meadow Lane
Avon, CT 06001
(T) 860-321-7521
(F) 860-321-7581

www.amteccorp.com

September 12, 2023

Eagle Hammock Community Development District
c/o Ms. Katie Costa
Director of Accounting Services
Government Management Services – CF, LLC
6200 Lee Vista Boulevard
Suite 300
Orlando, FL 32822

Re: \$3,800,000 Eagle Hammock Community Development District (City of Eagle Lake, Florida),
Special Assessment Bonds, Series 2022 (Series 2022 Project)

Dear Ms. Costa:

AMTEC is an independent consulting firm that specializes in arbitrage rebate calculations. We have the ability to complete rebate computations for the above-referenced Eagle Hammock Community Development District (the “District”) Series 2022 (Series 2022 Project) bond issue (the “Bonds”). We do not sell investments or seek an underwriting role. As a result of our specialization, we offer very competitive pricing for rebate computations. Our typical fee averages less than \$1,000 per year, per issue and includes up to five years of annual rebate liability reporting.

Firm History

AMTEC was incorporated in 1990 and maintains a prominent client base of colleges and universities, school districts, hospitals, cities, state agencies and small-town bond issuers throughout the United States. We currently compute rebate for more than 7,000 bond issues and have delivered thousands of rebate reports. The IRS has never challenged our findings.

Southeast Client Base

We provide arbitrage rebate services to over 350 bond issues aggregating more than \$9.1 billion of tax-exempt debt in the southeastern United States. We have recently performed computations for the Magnolia West, East Park, Palm Coast Park, Windward and Town Center at Palm Coast Park Community Development Districts. Additionally, we are exclusive rebate consultant to Broward County and the Town of Palm Beach in Florida. Nationally, we are rebate consultants for the City of Tulsa (OK), the City of Lubbock (TX) and the States of Connecticut, Montana, Mississippi, West Virginia, Vermont and Alaska.

We have prepared a Proposal for the computation of arbitrage for the District’s Bonds. We have established a "bond year end" of July 8th, based upon the anniversary of the closing date of the Bonds in July 2022.

Proposal

We are proposing rebate computation services based on the following:

- \$3,800,000 Series 2022 (Series 2022 Project) Bonds
- Fixed Rate Debt
- Acquisition & Construction, Debt Service Reserve, Cost of Issuance & Debt Service Accounts.

Should the Tax Agreement require rebate computations for any other accounts, computations will be extended to include those accounts at no additional cost to the District.

Our guaranteed fee for rebate computations for the Series 2022 (Series 2022 Project) Bonds is \$450 per year and will encompass all activity from July 8, 2022, the date of the closing, through July 8, 2027, the end of the 5th Bond Year and initial Computation Date. The fee is based upon the size as well as the complexity. Our fee is payable upon your acceptance of our rebate reports, which will be delivered shortly after the report dates specified in the following table.

AMTEC's Professional Fee – \$3,800,000 Series 2022 (Series 2022 Project) Bonds

Report Date	Type of Report	Period Covered	Fee
September 30, 2023	Rebate and Opinion	Closing – August 31, 2023	\$ 450
June 30, 2024	Rebate and Opinion	Closing – June 30, 2024	\$ 450
June 30, 2025	Rebate and Opinion	Closing – June 30, 2025	\$ 450
June 30, 2026	Rebate and Opinion	Closing – June 30, 2026	\$ 450
July 8, 2027	Rebate and Opinion	Closing – July 8, 2027	\$ 450

In order to begin, we are requesting copies of the following documentation:

1. Arbitrage Certificate or Tax Regulatory Agreement
2. IRS Form 8038-G
3. Closing Memorandum
4. US Bank statements for all accounts from July 8, 2022, the date of the closing, through each report date

AMTEC's Scope of Services

Our standard engagement includes the following services:

- Review of all bond documents and account statements for possible rebate exceptions;
- Computation of the rebate liability and/or the yield restricted amount, in accordance with Section 148 of the Internal Revenue Code, commencing with the date of the closing through required reporting date of the Bonds;
- Independent calculation of the yield on the Bonds to ensure the correct basis for any rebate liability. This effort provides the basis for our unqualified opinion;
- Reconciliation of the sources and uses of funds from the bond documentation;

- Calculation and analysis of the yield on all investments, subject to the Regulations, for each computation period;
- Production of rebate reports, indicating the above stated information, and the issuance of the AMTEC Opinion;
- Recommendations for proactive rebate management;
- Commingled funds, transferred proceeds and yield restriction analyses, if necessary;
- Preparation of IRS Form 8038-T and any accompanying documentation, should a rebate payment be required;
- We will discuss the results of our Reports with you, your auditors, and our continued support in the event of an IRS inquiry; and
- We guarantee the completeness and accuracy of our work.

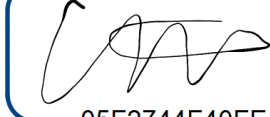
The District agrees to furnish AMTEC with the required documentation necessary to fulfill its obligation under the scope of services. The District will make available staff knowledgeable about the bond transactions, investments and disbursements of bond proceeds.

The District agrees to pay AMTEC its fee after it has been satisfied that the scope of services, as outlined under the Proposal, has been fulfilled. AMTEC agrees that its fee is all-inclusive and that it will not charge the District for any expenses connected with this engagement.

The parties have executed this Agreement on October 26, 2023.

Eagle Hammock
Community Development District

DocuSigned by:



05F2744F40FE41E...

By: Milton Andrade, Chairman

Consultant: American Municipal Tax-Exempt
Compliance Corporation



By: Michael J. Scarfo
Senior Vice President

SECTION IX

REBATE REPORT

\$3,800,000

**Eagle Hammock Community Development District
(City of Eagle Lake, Florida)**

**Special Assessment Bonds, Series 2022
(Series 2022 Project)**

**Dated: July 8, 2022
Delivered: July 8, 2022**

**Rebate Report to the Computation Date
July 8, 2025
Reflecting Activity To
September 30, 2023**



AMTEC

TABLE OF CONTENTS

AMTEC Opinion	3
Summary of Rebate Computations	4
Summary of Computational Information and Definitions	5
Methodology	7
Sources and Uses	8
Proof of Arbitrage Yield	9
Bond Debt Service	11
Arbitrage Rebate Calculation Detail Report – Acquisition & Construction Fund	13
Arbitrage Rebate Calculation Detail Report – Debt Service Reserve Fund	14
Arbitrage Rebate Calculation Detail Report – Costs of Issuance Account	15
Arbitrage Rebate Calculation Detail Report – Rebate Computation Credit	16



AMTEC

American Municipal Tax-Exempt Compliance

90 Avon Meadow Lane
Avon, CT 06001
(T) 860-321-7521
(F) 860-321-7581

www.amteccorp.com

October 13, 2023

Eagle Hammock Community Development District
c/o Ms. Katie Costa
Director of Operations – Accounting Division
Government Management Services – CF, LLC
6200 Lee Vista Boulevard, Suite 300
Orlando, FL 32822

Re: \$3,800,000 Eagle Hammock Community Development District (City of Eagle Lake, Florida),
Special Assessment Bonds, Series 2022 (Series 2022 Project)

Dear Ms. Costa:

AMTEC has prepared certain computations relating to the above referenced bond issue (the “Bonds”) at the request of the Eagle Hammock Community Development District (the “District”).

The scope of our engagement consisted of preparing the computations shown in the attached schedules to determine the Rebtable Arbitrage as described in Section 103 of the Internal Revenue Code of 1954, Section 148(f) of the Internal Revenue Code of 1986, as amended (the "Code"), and all applicable Regulations issued thereunder. The methodology used is consistent with current tax law and regulations and may be relied upon in determining the rebate liability. Certain computational methods used in the preparation of the schedules are described in the Summary of Computational Information and Definitions.

Our engagement was limited to the computation of Rebtable Arbitrage based upon the information furnished to us by the District. In accordance with the terms of our engagement, we did not audit the information provided to us, and we express no opinion as to the completeness, accuracy or suitability of such information for purposes of calculating the Rebtable Arbitrage.

We have scheduled our next Report as of June 30, 2024. Thank you and should you have any questions, please do not hesitate to contact us.

Very truly yours,

Michael J. Scarfo
Senior Vice President

Trong M. Tran
Assistant Vice President

SUMMARY OF REBATE COMPUTATIONS

Our computations, contained in the attached schedules, are summarized as follows:

For the July 8, 2025 Computation Date
Reflecting Activity from July 8, 2022 through September 30, 2023

Fund Description	Taxable Inv Yield	Net Income	Rebatable Arbitrage
Acquisition & Construction Fund	0.000000%	0.00	0.00
Debt Service Reserve Fund	3.532983%	5,491.35	(3,123.16)
Costs of Issuance Account	2.098023%	43.57	(76.54)
Totals	3.513823%	\$5,534.92	\$(3,199.70)
Bond Yield	5.328209%		
Rebate Computation Credit			(2,177.36)
		Net Rebatable Arbitrage	\$(5,377.06)

Based upon our computations, no rebate liability exists.

SUMMARY OF COMPUTATIONAL INFORMATION AND DEFINITIONS

COMPUTATIONAL INFORMATION

1. For purposes of computing Rebateable Arbitrage, investment activity is reflected from July 8, 2022, the date of the closing, to September 30, 2023, the Computation Period. All nonpurpose payments and receipts are future valued to the Computation Date of July 8, 2025.
2. Computations of yield are based on a 360-day year and semiannual compounding on the last day of each compounding interval. Compounding intervals end on a day in the calendar year corresponding to Bond maturity dates or six months prior.
3. For investment cash flow, debt service and yield computation purposes, all payments and receipts are assumed to be paid or received respectively, as shown on the attached schedules.
4. Purchase prices on investments are assumed to be at fair market value, representing an arm's length transaction.
5. During the period between July 8, 2022 and September 30, 2023, the District made periodic payments into the Debt Service Fund that were used, along with the interest earned, to provide the required debt service payments.

Under Section 148(f)(4)(A), the rebate requirement does not apply to amounts in certain bona fide debt service funds. The Regulations define a bona fide debt service fund as one that is used primarily to achieve a proper matching of revenues with principal and interest payments within each bond year. The fund must be depleted at least once each bond year, except for a reasonable carryover amount not to exceed the greater of the earnings on the fund for the immediately preceding bond year or 1/12th of the principal and interest payments on the issue for the immediately preceding bond year.

We have reviewed the Debt Service Fund and have determined that the funds deposited have functioned as a bona fide debt service fund and are not subject to the rebate requirement.

6. In accordance with Page C-1 of the Arbitrage and Tax Certificate, Exhibit C (Arbitrage Rebate Covenants) the first (initial) Computation Date must be within 60 days of the end of the third Bond Year. After the first required payment date (Computation Date) the District must consistently treat either the last day of each Bond Year or the last day of each fifth Bond Year as the (subsequent) Computation Date(s). Therefore, for purposes of the arbitrage calculation, the first Computation Date is July 8, 2025.

DEFINITIONS

7. Computation Date

July 8, 2025.

8. Computation Period

The period beginning on July 8, 2022, the date of the closing, and ending on September 30, 2023.

9. Bond Year

Each one-year period (or shorter period from the date of issue) that ends at the close of business on the day in the calendar year that is selected by the Issuer. If no day is selected by the Issuer before the earlier of the final maturity date of the issue or the date that is five years after the date of issue, each bond year ends at the close of business on the anniversary date of the issuance.

10. Bond Yield

The discount rate that, when used in computing the present value of all the unconditionally payable payments of principal and interest with respect to the Bonds, produces an amount equal to the present value of the issue price of the Bonds. Present value is computed as of the date of issue of the Bonds.

11. Taxable Investment Yield

The discount rate that, when used in computing the present value of all receipts of principal and interest to be received on an investment during the Computation Period, produces an amount equal to the fair market value of the investment at the time it became a nonpurpose investment.

12. Issue Price

The price determined on the basis of the initial offering price at which price a substantial amount of the Bonds was sold.

13. Rebatable Arbitrage

The Code defines the required rebate as the excess of the amount earned on all nonpurpose investments over the amount that would have been earned if such nonpurpose investments were invested at the Bond Yield, plus any income attributable to the excess. Accordingly, the Regulations require that this amount be computed as the excess of the future value of all the nonpurpose receipts over the future value of all the nonpurpose payments. The future value is computed as of the Computation Date using the Bond Yield.

14. Funds and Accounts

The Funds and Accounts activity used in the compilation of this Report was received from the District and US Bank, Trustee, as follows:

Funds / Accounts	Account Number
Revenue Account	223345000
Interest Fund	223345001
Sinking Fund Account	223345002
Prepayment Account	223345003
Debt Service Reserve Fund	223345004
Acquisition & Construction Fund	223345005

METHODOLOGY

Bond Yield

The methodology used to calculate the bond yield was to determine the discount rate that produces the present value of all payments of principal and interest through the maturity date of the Bonds.

Investment Yield and Rebate Amount

The methodology used to calculate the Rebateable Arbitrage, as of September 30, 2023, was to calculate the future value of the disbursements from all funds, subject to rebate, and the value of the remaining bond proceeds, at the yield on the Bonds, to July 8, 2025. This figure was then compared to the future value of the deposit of bond proceeds into the various investment accounts at the same yield. The difference between the future values of the two cash flows, on July 8, 2025, is the Rebateable Arbitrage.

\$3,800,000
Eagle Hammock Community Development District
(City of Eagle Lake, Florida)
Special Assessment Bonds, Series 2022
(Series 2022 Project)
Delivered: July 8, 2022

Sources of Funds	
-------------------------	--

Par Amount	\$3,800,000.00
Total	\$3,800,000.00

Uses of Funds	
----------------------	--

Acquisition & Construction Fund	\$3,393,189.95
Debt Service Reserve Fund	127,873.44
Costs of Issuance Account	202,936.61
Underwriter's Discount	<u>76,000.00</u>
Total	\$3,800,000.00

PROOF OF ARBITRAGE YIELD
 \$3,800,000
 Eagle Hammock Community Development District
 (City of Eagle Lake, Florida)
 Special Assessment Bonds, Series 2022
 (Series 2022 Project)

Date	Debt Service	Present Value to 07/08/2022 @ 5.3282091059%
11/01/2022	62,550.21	61,526.25
05/01/2023	154,637.50	148,158.93
11/01/2023	98,434.38	91,863.12
05/01/2024	158,434.38	144,020.79
11/01/2024	97,121.88	85,995.20
05/01/2025	157,121.88	135,511.20
11/01/2025	95,809.38	80,487.41
05/01/2026	160,809.38	131,586.90
11/01/2026	94,387.50	75,231.05
05/01/2027	159,387.50	123,742.33
11/01/2027	92,965.63	70,302.02
05/01/2028	162,965.63	120,039.12
11/01/2028	91,259.38	65,476.53
05/01/2029	166,259.38	116,191.86
11/01/2029	89,431.25	60,877.98
05/01/2030	164,431.25	109,027.65
11/01/2030	87,603.13	56,578.74
05/01/2031	167,603.13	105,438.00
11/01/2031	85,653.13	52,485.54
05/01/2032	170,653.13	101,857.27
11/01/2032	83,581.25	48,592.36
05/01/2033	173,581.25	98,297.70
11/01/2033	81,162.50	44,768.99
05/01/2034	176,162.50	94,649.16
11/01/2034	78,609.38	41,139.50
05/01/2035	178,609.38	91,047.98
11/01/2035	75,921.88	37,697.66
05/01/2036	180,921.88	87,502.39
11/01/2036	73,100.00	34,437.18
05/01/2037	183,100.00	84,019.46
11/01/2037	70,143.75	31,351.76
05/01/2038	185,143.75	80,605.26
11/01/2038	67,053.13	28,435.10
05/01/2039	192,053.13	79,330.18
11/01/2039	63,693.75	25,626.85
05/01/2040	193,693.75	75,909.38
11/01/2040	60,200.00	22,980.41
05/01/2041	195,200.00	72,580.91
11/01/2041	56,571.88	20,489.18
05/01/2042	201,571.88	71,110.75
11/01/2042	52,675.00	18,100.53
05/01/2043	202,675.00	67,837.25
11/01/2043	48,643.75	15,859.03
05/01/2044	208,643.75	66,257.68
11/01/2044	44,343.75	13,716.54
05/01/2045	214,343.75	64,580.95
11/01/2045	39,775.00	11,673.07
05/01/2046	219,775.00	62,825.31
11/01/2046	34,937.50	9,728.13
05/01/2047	224,937.50	61,007.18
11/01/2047	29,831.25	7,880.83
05/01/2048	229,831.25	59,141.31
11/01/2048	24,456.25	6,129.90
05/01/2049	234,456.25	57,240.89
11/01/2049	18,812.50	4,473.76
05/01/2050	238,812.50	55,317.74

PROOF OF ARBITRAGE YIELD

\$3,800,000
 Eagle Hammock Community Development District
 (City of Eagle Lake, Florida)
 Special Assessment Bonds, Series 2022
 (Series 2022 Project)

Date	Debt Service	Present Value to 07/08/2022 @ 5.3282091059%
11/01/2050	12,900.00	2,910.57
05/01/2051	247,900.00	54,481.20
11/01/2051	6,584.38	1,409.50
05/01/2052	251,584.38	52,458.58
	7,673,512.83	3,800,000.00

Proceeds Summary

Delivery date	07/08/2022
Par Value	3,800,000.00
Target for yield calculation	3,800,000.00

BOND DEBT SERVICE

\$3,800,000
Eagle Hammock Community Development District
(City of Eagle Lake, Florida)
Special Assessment Bonds, Series 2022
(Series 2022 Project)

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service
07/08/2022					
11/01/2022			62,550.21	62,550.21	
05/01/2023	55,000	4.375%	99,637.50	154,637.50	217,187.71
11/01/2023			98,434.38	98,434.38	
05/01/2024	60,000	4.375%	98,434.38	158,434.38	256,868.76
11/01/2024			97,121.88	97,121.88	
05/01/2025	60,000	4.375%	97,121.88	157,121.88	254,243.76
11/01/2025			95,809.38	95,809.38	
05/01/2026	65,000	4.375%	95,809.38	160,809.38	256,618.76
11/01/2026			94,387.50	94,387.50	
05/01/2027	65,000	4.375%	94,387.50	159,387.50	253,775.00
11/01/2027			92,965.63	92,965.63	
05/01/2028	70,000	4.875%	92,965.63	162,965.63	255,931.26
11/01/2028			91,259.38	91,259.38	
05/01/2029	75,000	4.875%	91,259.38	166,259.38	257,518.76
11/01/2029			89,431.25	89,431.25	
05/01/2030	75,000	4.875%	89,431.25	164,431.25	253,862.50
11/01/2030			87,603.13	87,603.13	
05/01/2031	80,000	4.875%	87,603.13	167,603.13	255,206.26
11/01/2031			85,653.13	85,653.13	
05/01/2032	85,000	4.875%	85,653.13	170,653.13	256,306.26
11/01/2032			83,581.25	83,581.25	
05/01/2033	90,000	5.375%	83,581.25	173,581.25	257,162.50
11/01/2033			81,162.50	81,162.50	
05/01/2034	95,000	5.375%	81,162.50	176,162.50	257,325.00
11/01/2034			78,609.38	78,609.38	
05/01/2035	100,000	5.375%	78,609.38	178,609.38	257,218.76
11/01/2035			75,921.88	75,921.88	
05/01/2036	105,000	5.375%	75,921.88	180,921.88	256,843.76
11/01/2036			73,100.00	73,100.00	
05/01/2037	110,000	5.375%	73,100.00	183,100.00	256,200.00
11/01/2037			70,143.75	70,143.75	
05/01/2038	115,000	5.375%	70,143.75	185,143.75	255,287.50
11/01/2038			67,053.13	67,053.13	
05/01/2039	125,000	5.375%	67,053.13	192,053.13	259,106.26
11/01/2039			63,693.75	63,693.75	
05/01/2040	130,000	5.375%	63,693.75	193,693.75	257,387.50
11/01/2040			60,200.00	60,200.00	
05/01/2041	135,000	5.375%	60,200.00	195,200.00	255,400.00
11/01/2041			56,571.88	56,571.88	
05/01/2042	145,000	5.375%	56,571.88	201,571.88	258,143.76
11/01/2042			52,675.00	52,675.00	
05/01/2043	150,000	5.375%	52,675.00	202,675.00	255,350.00
11/01/2043			48,643.75	48,643.75	
05/01/2044	160,000	5.375%	48,643.75	208,643.75	257,287.50
11/01/2044			44,343.75	44,343.75	
05/01/2045	170,000	5.375%	44,343.75	214,343.75	258,687.50
11/01/2045			39,775.00	39,775.00	
05/01/2046	180,000	5.375%	39,775.00	219,775.00	259,550.00
11/01/2046			34,937.50	34,937.50	
05/01/2047	190,000	5.375%	34,937.50	224,937.50	259,875.00
11/01/2047			29,831.25	29,831.25	
05/01/2048	200,000	5.375%	29,831.25	229,831.25	259,662.50
11/01/2048			24,456.25	24,456.25	
05/01/2049	210,000	5.375%	24,456.25	234,456.25	258,912.50
11/01/2049			18,812.50	18,812.50	
05/01/2050	220,000	5.375%	18,812.50	238,812.50	257,625.00

BOND DEBT SERVICE

\$3,800,000
 Eagle Hammock Community Development District
 (City of Eagle Lake, Florida)
 Special Assessment Bonds, Series 2022
 (Series 2022 Project)

Period Ending	Principal	Coupon	Interest	Debt Service	Annual Debt Service
11/01/2050			12,900.00	12,900.00	
05/01/2051	235,000	5.375%	12,900.00	247,900.00	260,800.00
11/01/2051			6,584.38	6,584.38	
05/01/2052	245,000	5.375%	6,584.38	251,584.38	258,168.76
	3,800,000		3,873,512.83	7,673,512.83	7,673,512.83

\$3,800,000
 Eagle Hammock Community Development District
 (City of Eagle Lake, Florida)
 Special Assessment Bonds, Series 2022
 (Series 2022 Project)
 Acquisition & Construction Fund

ARBITRAGE REBATE CALCULATION
 DETAIL REPORT

DATE	DESCRIPTION	RECEIPTS (PAYMENTS)	FUTURE VALUE @ BOND YIELD OF (5.328209%)
07/08/22	Beg Bal	-3,393,189.95	-3,973,012.33
07/08/22		3,393,189.95	3,973,012.33

07/08/25	TOTALS:	0.00	0.00

ISSUE DATE:	07/08/22	REBATABLE ARBITRAGE:	0.00
COMP DATE:	07/08/25	NET INCOME:	0.00
BOND YIELD:	5.328209%	TAX INV YIELD:	0.000000%

\$3,800,000
Eagle Hammock Community Development District
(City of Eagle Lake, Florida)
Special Assessment Bonds, Series 2022
(Series 2022 Project)
Debt Service Reserve Fund

ARBITRAGE REBATE CALCULATION
DETAIL REPORT

DATE	DESCRIPTION	RECEIPTS (PAYMENTS)	FUTURE VALUE @ BOND YIELD OF (5.328209%)
07/08/22	Beg Bal	-127,873.44	-149,724.23
08/02/22		82.85	96.67
09/02/22		167.47	194.55
10/04/22		192.84	222.97
11/02/22		261.57	301.21
12/02/22		326.37	374.19
12/22/22		0.15	0.17
01/04/23		373.25	425.94
02/02/23		397.21	451.43
03/02/23		380.98	431.09
04/04/23		434.63	489.51
05/01/23		920.31	1,032.43
05/02/23		445.07	499.22
06/02/23		481.52	537.74
07/05/23		472.58	525.22
08/01/23		4,240.63	4,695.11
08/02/23		495.14	548.13
09/05/23		497.89	548.52
09/30/23	MMkt Bal	122,712.50	134,698.10
09/30/23	MMkt Acc	481.83	528.89

07/08/25	TOTALS:	5,491.35	-3,123.16

ISSUE DATE:	07/08/22	REBATABLE ARBITRAGE:	-3,123.16
COMP DATE:	07/08/25	NET INCOME:	5,491.35
BOND YIELD:	5.328209%	TAX INV YIELD:	3.532983%

\$3,800,000
 Eagle Hammock Community Development District
 (City of Eagle Lake, Florida)
 Special Assessment Bonds, Series 2022
 (Series 2022 Project)
 Costs of Issuance Account

ARBITRAGE REBATE CALCULATION
 DETAIL REPORT

DATE	DESCRIPTION	RECEIPTS (PAYMENTS)	FUTURE VALUE @ BOND YIELD OF (5.328209%)
07/08/22	Beg Bal	-202,936.61	-237,614.06
07/08/22		53,000.00	62,056.55
07/08/22		45,000.00	52,689.52
07/08/22		15,822.69	18,526.44
07/08/22		42,000.00	49,176.89
07/08/22		30,000.00	35,126.35
07/08/22		6,000.00	7,025.27
07/08/22		1,500.00	1,756.32
07/15/22		5,750.00	6,725.67
01/11/23		3,907.49	4,454.52

07/08/25	TOTALS:	43.57	-76.54

ISSUE DATE:	07/08/22	REBATABLE ARBITRAGE:	-76.54
COMP DATE:	07/08/25	NET INCOME:	43.57
BOND YIELD:	5.328209%	TAX INV YIELD:	2.098023%

\$3,800,000
 Eagle Hammock Community Development District
 (City of Eagle Lake, Florida)
 Special Assessment Bonds, Series 2022
 (Series 2022 Project)
 Rebate Computation Credit

ARBITRAGE REBATE CALCULATION
 DETAIL REPORT

DATE	DESCRIPTION	RECEIPTS (PAYMENTS)	FUTURE VALUE @ BOND YIELD OF (5.328209%)
07/08/23		-1,960.00	-2,177.36

07/08/25	TOTALS:	-1,960.00	-2,177.36

ISSUE DATE: 07/08/22 REBATABL ARBITRAGE: -2,177.36
 COMP DATE: 07/08/25
 BOND YIELD: 5.328209%

SECTION X

September 25, 2023

Board of Supervisors
Eagle Hammock Community Development District
c/o Governmental Management Services – Central Florida, LLC
219 E. Livingston Street
Orlando, Florida 32801

RE: Acquisition of Improvements– Improvements and Work Product

Dear Board of Supervisors:

Pursuant to the Acquisition Agreement between the Eagle Hammock Community Development District (“District”) and Eagle Hammock of Eagle Lake, LLC, dated June 29, 2022 (“Acquisition Agreement”), Eagle Hammock of Eagle Lake, LLC (“Developer”) has completed and wishes to convey to the District certain public improvements (“Improvements”) and associated work product (“Work Product”) which are more particularly described in **Exhibit A** and which are included in the District’s capital improvement plan as described in the District’s *Eagle Hammock Community Development District Engineer’s Report for Capital Improvements*, dated May 24, 2022 (“Engineer’s Report” and the master project described therein, the “Capital Improvement Plan”).

Notwithstanding anything to the contrary herein, to the extent any amounts are still owed to contractor(s) as retainage or otherwise, Developer agrees to timely make payment for all remaining amounts owed and to ensure that no liens are placed on the Improvements or District property.

Sincerely,

**EAGLE HAMMOCK OF EAGLE LAKE,
LLC**, a Florida limited liability company


By: Center State Development 2, LLC
Its: Manager

By: HRB Land Investments, LLC
Its: Manager



Harold R. Baxter, its Manager

District Acceptance:
**EAGLE HAMMOCK
COMMUNITY DEVELOPMENT AGREEMENT**



Chairperson, Board of Supervisors

Exhibit A -- Description of Improvements and Work Product

EXHIBIT A

Description of Improvements and Work Product

Eagle Hammock of Eagle Lake, LLC, has caused to be completed in and for the Eagle Hammock Community Development District, the following Improvements located on Tracts A, B, C, E, F, G, and H, and within all drainage easements, of the Plat Titled "Eagle Hammock," recorded at Plat Book 192, Pages 10 et seq., of the Official Records of Polk County, Florida:

Improvements

Drainage/Surface Water Management – All drainage and surface water management systems, including but not limited to lakes, ponds, sod, surface water control structures, pipes, curbs, gutter, inlets, gravity walls, and other water conveyance structures, as well as all catch-basins and related stormwater facilities.

Landscaping/Irrigation - All plants, trees, timber, shrubbery, and other landscaping and plantings, and all irrigation systems, including but not limited to wells, pumps, lines, spray heads, and related system components now a part of the property constructed in and for the District.

Hardscaping – All signage, entry monuments and features, pavers, walkways, sidewalks, and related improvements.

Parks/Recreation/Other - All conservation open spaces, parks, recreational spaces, trails and related improvements now a part of the property constructed in and for the District, including the District's Amenity Center comprised of a clubhouse, pool, playground, and other related facilities.

Work Product

All of the right, title, interest, and benefit in, to, and under any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

BILL OF SALE

BILL OF SALE AND LIMITED ASSIGNMENT [IMPROVEMENTS]

THIS BILL OF SALE AND LIMITED ASSIGNMENT is made as of this 26 day of September, 2023, by **Eagle Hammock of Eagle Lake, LLC**, a Florida Limited Liability Company, whose address for purposes hereof is 4900 Dundee Road, Winter Haven, Florida 33884 (“Grantor”), and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, to it paid by the **Eagle Hammock Community Development District**, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* (“District” or “Grantee”) whose address is c/o Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801.

(Wherever used herein the terms “Grantor” and “Grantee” include all of the parties to this instrument and their respective successors and assigns.)

NOW THEREFORE, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee, intending to be legally bound, do hereby agree as follows:

1. Grantor hereby transfers, grants, conveys, and assigns to Grantee all right, title and interest of Grantor, if any, in and to the following improvements and other property interests as described below (hereinafter collectively the “Improvements”) to have and to hold for Grantee’s own use and benefit forever:
 - a. **Improvements** -
 - i. Drainage/Surface Water Management – All drainage and surface water management systems, including but not limited to lakes, ponds, sod, surface water control structures, pipes, curbs, gutter, inlets, gravity walls, and other water conveyance structures, as well as all catch-basins and related stormwater facilities.
 - ii. Landscaping/Irrigation - All plants, trees, timber, shrubbery, and other landscaping and plantings, and all irrigation systems, including but not limited to wells, pumps, lines, spray heads, and related system components now a part of the property constructed in and for the District.
 - iii. Hardscaping – All signage, entry monuments and features, pavers, walkways, sidewalks, and related improvements.
 - iv. Parks/Recreation/Other - All conservation open spaces, parks, recreational spaces, trails and related improvements now a part of the property constructed in and for the District, including the District’s Amenity Center comprised of a clubhouse, pool, playground, and other related facilities.
 - b. **Work Product** – All of the right, title, interest, and benefit in, to, and under any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

- c. All of the right, title, interest, and benefit of Grantor, if any, in, to and under any and all contracts, guaranties, affidavits, warranties, bonds, claims, lien waivers, and other forms of indemnification, given heretofore and with respect to the construction, installation, or composition of the Improvements; and
 - d. All goodwill associated with the foregoing.
2. Grantor hereby covenants that: (i) Grantor is the lawful owner of the Improvements; (ii) subject to any remaining payments due to contractors and/or subcontractors for retainage (which Grantor agrees to timely pay), the Improvements are free from any liens or encumbrances and the Grantor covenants to timely address any such liens or encumbrances if and when filed; (iii) Grantor has good right to sell the Improvements; and (iv) the Grantor will warrant and defend the sale of the Improvements hereby made unto the Grantee against the lawful claims and demands of all persons whosoever.
3. This conveyance is made on an “as is” basis. The Grantor represents that, without independent investigation, it has no knowledge of any latent or patent defects in the Improvements, and hereby assigns, transfers and conveys to the Grantee any and all rights against any and all firms or entities which may have caused any latent or patent defects, including, but not limited to, any and all warranties and other forms of indemnification.
4. By execution of this document, the Grantor affirmatively represents that it has the contractual right, consent and lawful authority of any and all forms to take this action in this document and in this form.
5. Nothing herein shall be construed as a waiver of Grantee’s limitations on liability as provided in Section 768.28, *Florida Statutes*, and other statutes and law.
6. Grantor, at its expense, agrees to complete any punch list items, make any remaining payments owed to contractors and/or subcontractors, and to post and maintain any required bonds, including but not limited to maintenance bonds.
7. Grantor and Grantee affirm that no payment shall be due for the Improvements and Work Product at the time of conveyance, provided, however, that subject to availability of funds and subject to (and without intending to alter) the provisions of that certain Acquisition Agreement, the Grantee may make payment for the cost of the Improvements up to the amount of the lesser of the fair market value of the Improvements or the cost of constructing the same, if such funds are available from proceeds from a past or future issuance of bonds.
8. Grantor agrees, at the direction of the Grantee, to assist with the transfer of any permits or similar approvals necessary for the operation of the Improvements.

[THIS SPACE INTENTIONALLY LEFT BLANK]

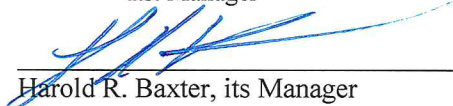
IN WITNESS WHEREOF, the GRANTOR has hereunto set its hand and seal this 26 day of September 2023.

Signed, sealed and delivered by:

EAGLE HAMMOCK OF EAGLE LAKE, LLC, a Florida limited liability company

By: Center State Development 2, LLC
Its: Manager

By: HRB Land Investments, LLC
Its: Manager



Harold R. Baxter, its Manager

STATE OF FLORIDA)
COUNTY OF Polk)

I HEREBY CERTIFY that on this 26 day of September, 2023, before me by means of physical presence or [] online notarization appeared Harold R. Baxter, who, acting on behalf of Eagle Hammock of Eagle Lake, LLC, signed the foregoing instrument and severally acknowledged the execution thereof to be his/her free act and deed for the uses and purposes therein mentioned. Said person is personally known to me or has produced _____ as identification and did or [] ~~did not~~ take an oath.



(NOTARIAL SEAL)



Print Name:
Notary Public, State of Florida
My Commission No.:
My Commission Expires:

Exhibit A – Description of Improvements

EXHIBIT A
Description of Improvements

Eagle Hammock of Eagle Lake, LLC, has caused to be completed in and for the Eagle Hammock Community Development District, the following Improvements located on Tracts A, B, C, E, F, G, and H, and within all drainage easements, of the Plat Titled "Eagle Hammock," recorded at Plat Book 192, Pages 10 et seq., of the Official Records of Polk County, Florida:

Improvements

Drainage/Surface Water Management – All drainage and surface water management systems, including but not limited to lakes, ponds, sod, surface water control structures, pipes, curbs, gutter, inlets, gravity walls, and other water conveyance structures, as well as all catch-basins and related stormwater facilities.

Landscaping/Irrigation - All plants, trees, timber, shrubbery, and other landscaping and plantings, and all irrigation systems, including but not limited to wells, pumps, lines, spray heads, and related system components now a part of the property constructed in and for the District.

Hardscaping – All signage, entry monuments and features, pavers, walkways, sidewalks, and related improvements.

Parks/Recreation/Other - All conservation open spaces, parks, recreational spaces, trails and related improvements now a part of the property constructed in and for the District, including the District's Amenity Center comprised of a clubhouse, pool, playground, and other related facilities.

Work Product

All of the right, title, interest, and benefit in, to, and under any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

This instrument was prepared by and upon recording should be returned to:

Kilinski | Van Wyk, PLLC
517 E. College Avenue
Tallahassee, Florida 32301

(This space reserved for Clerk)

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made to be effective as of the 26 day of September 2023, by and between:

EAGLE HAMMOCK OF EAGLE LAKE, LLC, a Florida limited liability company, the owner and developer of lands within the boundary of the District, and whose mailing address is 4900 Dundee Road, Winter Haven, FL 33884 (“**Grantor**”); and

EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, being situated in Polk County, Florida, and whose mailing address is c/o Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (“**Grantee**”).

(Wherever used herein, the terms “Grantor(s)” and “Grantee” include all of the parties to this instrument, the heirs, legal representatives and assigns of individuals, and the successors and assigns of trustees, partnerships, limited liability companies, governmental entities, and corporations.)

SPECIAL WARRANTY GRANT OF FEE TITLE

WITNESS THAT GRANTOR(S), for good and valuable consideration to them in hand paid by Grantee, the receipt and sufficiency whereof are hereby acknowledged, grants, bargains and conveys to Grantee forever, all of the right, title, interest, claim and demand which the Grantor(s) have in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Polk, State of Florida, and more particularly below (“**Property**”):

Tracts A, B, C, E, F, G, and H, and Rights-of-Way identified as Eagle Hammock Boulevard, Golden Beak Drive, Falconcrest Court, Aquiline Nest Street, and Majestic Span Avenue of the Plat known as “Eagle Hammock”, as recorded at Plat Book 192, Pages 10 et seq, of the Official Records of Polk County, Florida, together with all rights associated with all drainage easements depicted thereon.

TOGETHER with all of the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, and to have and to hold the same in fee simple forever. Such conveyance is subject to all matters of record; however, reference hereto shall not operate to re-impose the same.

The Grantor(s) hereby covenant with said Grantee that the Grantor(s), either individually or together, are lawfully seized of said land in fee simple and that the Grantor(s) have good right and lawful authority to sell and convey said land. Further, the Grantor(s) hereby warrant the title to said land and

will defend the same against the lawful claims of all persons or entities whomsoever claiming by, through or under Grantor(s), but against none other. Additionally, the Grantor(s) warrant that they have complied with the provisions of Section 196.295, *Florida Statutes*.

RESERVATION OF EASEMENT

GRANTOR(S) hereby reserve unto themselves and their successors and assigns, and Grantee by acceptance hereby gives and grants unto Grantor(s) and their successors and assigns, non-exclusive easements for ingress and egress over, upon and across the Property and Easement areas, together with the rights to install, maintain, repair, plant, mow, cultivate, irrigate, improve and care for any drainage, hardscaping, landscaping, irrigation, wetland and related improvements, as applicable, and the right to maintain, repair and replace and improve any improvements now or hereafter located on the Property and Easement areas; provided, however, that Grantor(s)' reservation of rights hereunder shall not be deemed to impose any obligations on Grantor(s) to maintain, repair or replace any part of the Property or Easement areas or improvements located thereon.

[CONTINUED ON FOLLOWING PAGE]

IN WITNESS WHEREOF, Grantor has caused these presents to be executed to be effective as of the day and year first above written.

WITNESS

EAGLE HAMMOCK OF EAGLE LAKE, LLC, A FLORIDA LIMITED LIABILITY COMPANY

By: [Signature]
Name: Brent Elliott

By: Center State Development 2, LLC
Its: Manager

By: [Signature]
Name: Dottie Mobley

By: HRB Land Investments, LLC
Its: Manager

[Signature]
Harold R. Baxter, Manager

STATE OF Florida
COUNTY OF Polk

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 26 day of September, 2023, by Harold R. Baxter, on behalf of **Eagle Hammock of Eagle Lake, LLC** who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

[Signature]
NOTARY PUBLIC, STATE OF Florida

(NOTARY SEAL)



Name: Brent Elliott
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Note to Examiner: This instrument evidences a conveyance of an interest in unencumbered real estate as a gift and is exempt from Florida documentary stamp tax pursuant to Rule 12B-4.014(2)(a), Florida Administrative Code.

**ACKNOWLEDGMENT OF ACQUISITION OF CERTAIN WORK PRODUCT AND THE
RIGHT TO RELY UPON ANY WARRANTIES AND CONTRACT TERMS FOR THE
PRODUCTION OF SAME**

THIS ACQUISITION AND WARRANTY ACKNOWLEDGMENT is made the 26 day of September 2023, by **GADD & ASSOCIATES, LLC**, a Florida limited liability company, with a mailing address of 4685 E County Road 540 A, Lakeland, Florida 33813 (the “Professional”), in favor of the **EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT** (the “District”), which is a local unit of special-purpose government situated in Polk County, Florida, and having offices located at c/o Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801.

SECTION 1. DESCRIPTION OF PROFESSIONAL’S SERVICES. Professional has provided professional engineering services (the “Work Product”) for Center State Development, LLC, a developer of lands within the District (the “Developer”). A copy of the contract for said Work Product is attached as **Exhibit A** (the “Professional Contract”). The Work Product produced and acquired is more specifically described in the attached **Exhibit B**.

SECTION 2. ACQUISITION OF WORK PRODUCT. Professional acknowledges that the District is acquiring or has acquired the Work Product, produced by Professional in connection with the Professional Contract attached as **Exhibit A**, from Developer, thereby securing the unrestricted right to rely upon the terms of the Professional Contract for same. Professional further acknowledges that the District is acquiring certain improvements constructed by Blue Ox Enterprises, LLC, and therefore requires the unrestricted right to use, reproduce, rely and otherwise own said Work Product.

SECTION 3. WARRANTY. Professional hereby expressly acknowledges the District’s right to enforce the terms of the Professional Contract, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.

SECTION 4. INDEMNIFICATION. Professional indemnifies and holds the District harmless from any claims, demands, liabilities, judgments, costs, or other actions that may be brought against or imposed upon the District in connection with the Work Product identified in **Exhibit B** because of any act or omission of Professional, its agents, employees, or officers. Said indemnification shall include, but not be limited to, any reasonable attorney’s fees and costs incurred by the District.


SECTION 5. CERTIFICATE OF PAYMENT. Professional hereby acknowledges that it has been fully compensated for its services and work related to completion of the Work Product identified in **Exhibit B**. Professional further certifies that no outstanding requests for payment exist related to the Work Product identified in **Exhibit B**, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the appropriateness of payment made for the Work Product. This document shall constitute a final waiver and release of lien for any payments due to Professional by Developer for the Work Product identified in **Exhibit B**.

[Continued on following page]


SECTION 6. EFFECTIVE DATE. This Acquisition and Warranty Acknowledgement shall take effect upon execution.

ATTEST


Gadd & Associates, LLC, a Florida limited liability company



Robert Sadtler
[print name]



By: RODNEY GADD
Its: MANAGING MEMBER



Justin Stanlick
[print name]

EXHIBIT A
Contract(s) for Professional Services



1925 US HWY 98 S, SUITE 201
LAKELAND, FL 33801
Phone: (863) 940-9979

February 11, 2021

Center State Development, LLC
Attn: Halsey Carson
4900 Dundee Rd.
Winter Haven, FL 33884
halsey@centerstatedev.com

RE: **Thousand Oaks Subdivision – Eagle Lake, FL**
Professional Civil Engineering Services

Dear Halsey:

In response to Center State Development, LLC's (CLIENT) request for a proposal, Gadd & Associates, LLC (ENGINEER) offers the following (the "Proposal"):

SCOPE OF WORK

It is our understanding that you wish to develop this property into a residential subdivision, consisting of one (1) phase, totaling +/- 252 lots as generally depicted in Attachment 'A'. The property is described by the Polk County Property Appraiser as Parcel I.D.s 262907-646000-010601, 262907-676000-010500, 262908-685500-000100, and 262908-686000-000750 totaling +/- 108 acres.

This project is located within the jurisdictional limits of Polk County and has RL-3X Land Use. As discussed and instructed by CLIENT, all work associated with modifying land use and/or annexation of the property to allow for the proposed density will be completed by others (CONSULTANT). ENGINEER will provide support documents, information, and attend public hearings as necessary to support CONSULTANT.

Preliminary research concludes that there is a 10-inch water and 10-inch sewer force main available at the project entrance to the proposed subdivision for connection. No reclaimed water is within the area. This proposal assumes that the existing water and sewer utilities are of adequate size and capacity to service the proposed subdivision without the need for offsite utility improvements. Included herein is the design and permitting of water, gravity sewer, sewer force main, and lift station as necessary within the proposed subdivision.

The Southwest Florida Water Management District (SWFWMD) and Polk County (or City if annexed) regulates stormwater discharge for this property. The project will require an

Environmental Resource Permit (ERP) from SWFWMD and Level II Polk County Permit. ENGINEER will include design and permitting of the proposed stormwater system to meet the respective requirements.

Polk County regulates access management for the site. A Polk County Driveway Application, Traffic Impact Study (allowance), and design of turn lane/driveway at the project entrance is included herein.

Research of the site concludes that there are Flood Zones described by FEMA within and adjacent to the project area. The Flood Zones appear to have established flood elevations and the preliminary layout appears to avoid impacts. Accordingly, no FEMA permitting or map revisions are anticipated or included herein.

As provided by CLIENT, wetlands are located within and adjacent to the project area. These wetlands have been delineated by others. This proposal assumes any additional work as related to delineation, site verification, impact permitting, or mitigation will be completed by others. ENGINEER will provide information and documentation as necessary. Based on the preliminary layout, mitigation for wetland impacts does not appear necessary.

A boundary and topographic survey has been provided by CLIENT. Should additional work be required, it is assumed that the CLIENT will contract directly with Surveyor.

SCOPE OF SERVICES:

TASK ONE – ONSITE / INTERSECTION(S) DESIGN & PERMITTING

This task includes the preparation of submittal documents and CLIENT coordination for the proposed development. Specifically, to the extent reasonable, this task includes:

- Participate in coordination conference calls & attend meetings with CLIENT as required prior to and during design/permitting process
- Research SWFWMD permitted documentation and make site visits as required to document existing conditions
- Coordinate and participate in pre-application meetings as required with permitting agencies
- Prepare detailed SWPP Plan, Lot Layout, Grading, Drainage, Driveway/Turn Lane, Landscaping, and Construction Detail design drawings as required for permitting and construction
- Prepare detailed stormwater and utility calculation packages as required by Agencies
- Coordinate with Sub-Consultant as required for Traffic Study
- Prepare and submit the following permit applications and associated documents
 - SWFWMD - Environmental Resource Permit
 - FDEP – Wastewater Extension Application
 - FDEP – NPDES Permit Application
 - PCHD – Water Extension Application
 - Polk County/City – Level II/Residential Site Plan Application as required
 - Polk County – Level II Driveway Application

School Board – Concurrency Application

- Respond to any requests for additional information, as required
- Provide Construction Drawings and permit package to CLIENT

TASK TWO - CONSTRUCTION SERVICES

This task includes CLIENT/Contractor coordination, site visits, attendance of applicable meetings, inspections, and final certifications required during and at the completion of construction to closeout site permitting. Specifically, to the extent reasonable, this task includes:

- Attend project kick-off, pre-construction, and utility provider meetings, as required
- Review of Contractor’s shop drawings and respond to requests for additional information
- Visit project site at any additional key milestones to review progress of project and ensure conformance to Contract Documents
- Respond to Contractor requests for clarification/interpretation
- Prepare/Submit final certifications and review As-Built Drawings provided by Contractor for submittal to SWFWMD, City, FDEP, and PCHD as required
- Conduct Final Walk Through & document any deficiencies to CLIENT

COMPENSATION

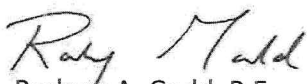
Task One – Onsite / Intersection(s) Design & Permitting	\$118,500
Task Two - Construction Services	\$7,500
Lump Sum Reimbursable Expenses**	\$1,500
Civil Engineering Estimated Sub-Total	\$127,500
Reimbursable Sub-Consultant Traffic Impact Study Allowance*	\$10,000
Reimbursable Sub-Consultant Geotechnical Pond & Road Boring Allowance*	\$7,500
Retainer Amount	\$0

*Allowances for Sub-Consultant Services includes & will be billed at actual cost plus 10% unless contracted directly by CLIENT.


**Lump Sum Reimbursable Expenses includes mileage, postage, & copies for the duration of the project included within this scope. Any additional expenses will be documented to the CLIENT in advance and billed at actual costs.

We appreciate the opportunity to provide you with this proposal. Please contact our office if you have any questions or additional information. This proposal shall remain valid for 30 days.

Respectfully Submitted,


Rodney A. Gadd, P.E.
Principal

**AUTHORIZATION AND AGREEMENT TO PROCEED BASED UPON THE FOREGOING PROPOSAL
TERMS AND THE TERMS HEREUNDER**


Signature _____ Name (Print) Harold R Baxter Date 2-11-21
Center State Development
Company _____ Title Mgr Email brent@centerstatedev.com
reggie@centerstatedev.com
4900 Dundee Rd Winter Haven FL 33884
Billing Address _____ Billing Preference (Circle) (Email) / Mail

**SPECIFIC EXCLUSIONS FROM SCOPE OF WORK/SERVICES AND THIS AGREEMENT INCLUDE BUT
ARE NOT NECESSARILY LIMITED TO THE FOLLOWING:**

- Agency Review & Permitting Fees
- Boundary, Topographic, Construction Layout, Easement, and Platting Surveys
- Environmental and/or Threatened/Endangered Species Assessments & Permitting
- Architectural, Structural, Mechanical, and Electrical Design, & Permitting
- Geotechnical Borings, Testing, or Exploration other than described
- Community Development District Services
- Offsite Utility Extensions/Modifications
- Professional Legal/Title Services
- Photometric/Lighting Plans
- Land Use Modifications
- Fire Hydrant Testing
- Recording Fees

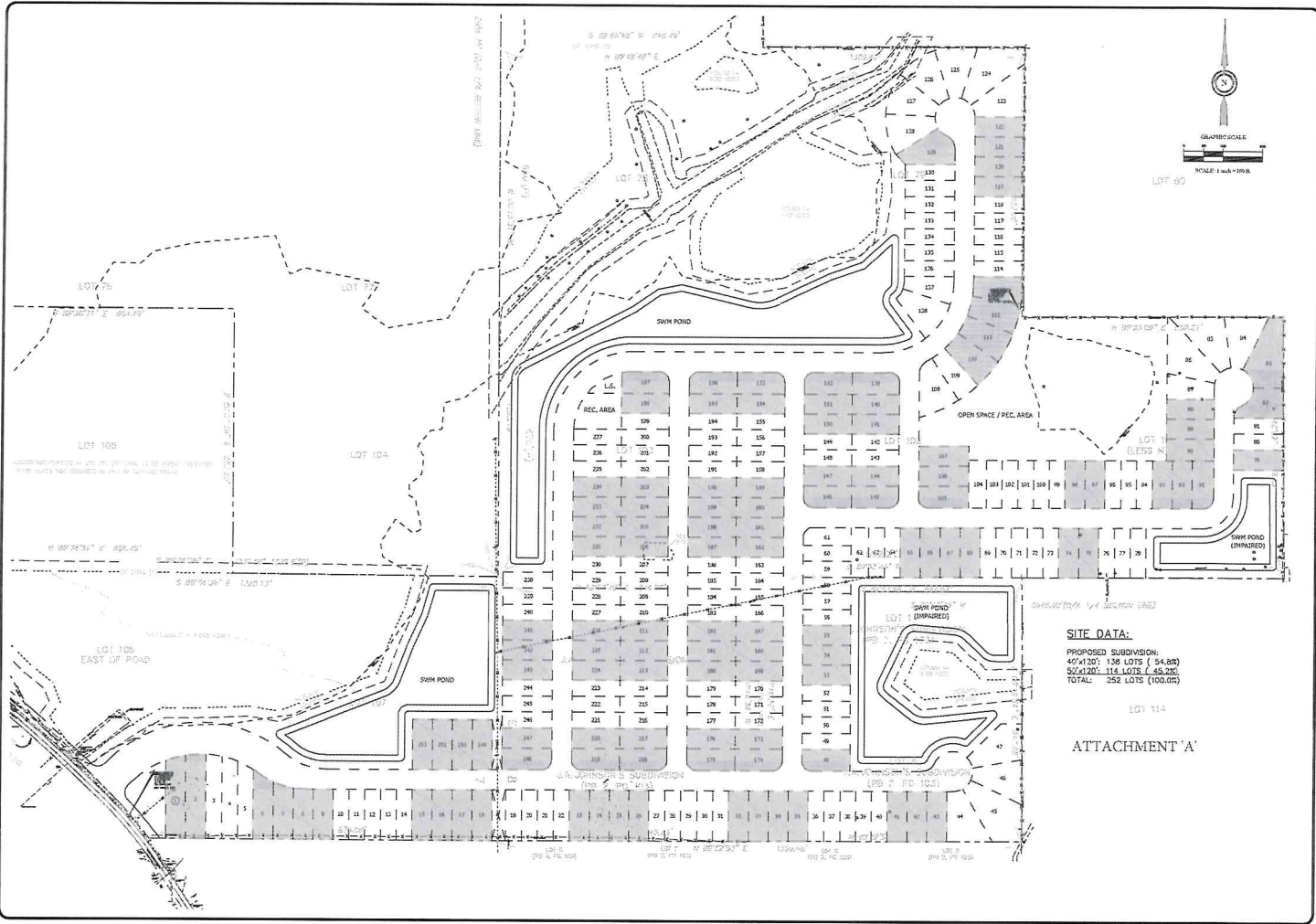
TERMS AND CONDITIONS

The aforementioned stated proposal and Agreement shall include the following terms and conditions between CLIENT and ENGINEER. By signing as provided for above, this document becomes a binding contract and the CLIENT agrees to the following additional terms and conditions:

1. Modifications, deletions, or additions to the scope of work/services or to any task contained herein will require a separate written and signed agreement.
2. CLIENT recognizes that ENGINEER is not an expert in all fields of development including but not limited to threatened or endangered species, site contamination, and/or the potential for geotechnical issues that may or may not impact this project. ENGINEER recommends that CLIENT obtain the services of a qualified professional in these fields to conduct site surveys to determine if any conditions exist that may preclude developing the site.

3. CLIENT acknowledges that ENGINEER's scope of work/services includes only those items specifically detailed herein as related to the Civil Engineering portion of the project and recognizes that any other professional work/services (e.g., CLIENTs, plumbing engineers, fire protection designers, etc.) are required to be provided by CLIENT. These services must be provided in a timely manner during ENGINEER's work or additional services fee may be required.
4. Payment for professional services will be billed monthly on a percentage completed basis and is the responsibility of the CLIENT and/or Authorized Signatory. Compensation is due within 30 days of the date of the invoice. Any work performed and billed on this project that remains unpaid after 60 days from initial billing shall be charged 1.5% interest per month. Any balance remaining unpaid after 90 days from date of initial billing shall be deemed in default with reasonable collection and attorney's fees due and payable.
5. If a dispute arises related to and/or regarding this proposal and Agreement, the prevailing party shall be paid and/or compensated by the other party for any and all costs, expenses and attorney fees incurred by the prevailing party as part of, related to and/or regarding the dispute, whether such is incurred pre-lawsuit, incurred during the course of a pending lawsuit and/or incurred post-lawsuit (including, but not limited to, any and all related appeals).
6. If any legal action/lawsuit is initiated/filed related to and/or regarding this proposal and Agreement, such legal action/lawsuit shall be filed in a Court of jurisdiction in and/or for Polk County, Florida. Any such legal action/lawsuit shall be governed/construed/interpreted under and applying Florida law.
7. The Agreement shall be binding upon and inure to the benefit of the parties to the Agreement and their respective successors and permitted assigns.
8. Any provision of the Agreement that is determined by any court of competent jurisdiction to be invalid or unenforceable will not affect the validity or enforceability of any other provision herein or the invalidity or unenforceability of such provision in any other situation or in any other jurisdiction. Any provision of the Agreement held invalid or unenforceable only in part or degree will remain in full force and effect to the extent not held invalid or unenforceable.
9. The individuals signing the Agreement represent and warrant that they, respectively, possess the full and valid authority of and for the respective entities/parties to the Agreement to enter into the proposal and the Agreement, and further represent and warrant that the Agreement has been duly authorized, executed and delivered by each respective party and that the Agreement constitutes a legal, valid and binding obligation, enforceable against each party in accordance with the terms herein.
10. If requested, all retainer amounts shall be applied to the last invoice.

11. ENGINEER agrees to notify CLIENT of additional services required and will obtain authorization to proceed prior to proceeding.
12. ENGINEER is not responsible for taxes levied by federal, state, and local authorities.
13. ENGINEER will carry General Liability and Professional Liability insurance. Certificates of insurance will be furnished within a reasonable amount of time upon request. If the CLIENT requires insurance coverage or limits in excess of ENGINEER's normal policies, and it is available, CLIENT agrees to reimburse ENGINEER for such additional expense.
14. CLIENT agrees to not hold ENGINEER responsible for project delays that are out of the ENGINEER's control.
15. CLIENT has authority and dually allows ENGINEER and its Sub-Consultants unlimited access to the property during the duration of this contract.
16. Charges for sub consultant fees that will be billed at direct cost plus 5%. Supporting documentation will be included with the invoice. Actual costs below estimated amount will be credited to the CLIENT.
17. Additional work not included within this scope that is required by sub-consultants will be billed at cost plus 5%. Approval from CLIENT will be obtained prior to ENGINEER authorizing work.
18. CLIENT understands and accepts that ENGINEER cannot guarantee that concepts and/or features requested by CLIENT are possible or will be allowed by applicable permitting agencies. Payment for services rendered is required regardless of constructability or acceptance by any municipal, county, state and/or federal agencies.



SITE DATA:
 PROPOSED SUBDIVISION:
 40'x120' 138 LOTS (34,560)
 50'x120' 116 LOTS (45,280)
 TOTAL 252 LOTS (100,000)

LOT 114
 ATTACHMENT 'A'

PRELIMINARY SITE LAYOUT


HUNTER
 LAND DEVELOPMENT
 600 Dundas Road
 West Irvine, CA 92614
 Telephone: 949-455-2770
 Fax: 949-455-0191
 CA 92618

Prepared For
HR BAXTER & SONS ENTERPRISES, INC.
 10075 Alhambra Blvd.
 West Irvine, CA 92618

Commission From
Thousand Oaks
 Eagle Lake State

Date: July 1, 2011
 Project No: 114-01

C100

EXHIBIT B
Identification of Work Product

Work Product

All of the right, title, interest, and benefit in, to, and under any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the improvements described below:

Improvements

Drainage/Surface Water Management – All drainage and surface water management systems, including but not limited to lakes, ponds, sod, surface water control structures, pipes, curbs, gutter, inlets, gravity walls, and other water conveyance structures, as well as all catch-basins and related stormwater facilities.

Landscaping/Irrigation - All plants, trees, timber, shrubbery, and other landscaping and plantings, and all irrigation systems, including but not limited to wells, pumps, lines, spray heads, and related system components now a part of the property constructed in and for the District.

Hardscaping – All signage, entry monuments and features, pavers, walkways, sidewalks, and related improvements.

Parks/Recreation/Other - All conservation open spaces, parks, recreational spaces, trails and related improvements now a part of the property constructed in and for the District, including the District's Amenity Center comprised of a clubhouse, pool, playground, and other related facilities.

DISTRICT ENGINEER'S CERTIFICATE

September 26, 2023

Board of Supervisors
Eagle Hammock Community Development District

Re: Eagle Hammock Community Development District (Polk County, Florida)
Acquisition of Improvements and Work Product

Ladies and Gentlemen:

The undersigned, a representative of Gadd & Associates, LLC, ("**District Engineer**"), as District Engineer for Eagle Hammock Community Development District ("**District**"), hereby makes the following certifications in connection with the District's acquisition from Eagle Hammock of Eagle Lake, LLC ("**Developer**") of certain improvements ("**Improvements**") and from Center State Development, LLC, certain work product ("**Work Product**"), all as more fully described in that certain bill of sale ("**Bill of Sale**") dated as of or about the same date as this certificate and in **Exhibit A** attached hereto. The undersigned, an authorized representative of the District Engineer, hereby certifies that:

1. I have reviewed and inspected the Improvements and Work Product. I have further reviewed certain documentation relating to the same, including but not limited to, the Bill of Sale, agreements, invoices, plans, permits, as-builts, and other documents.
2. The Improvements and Work Product are within the scope of the District's capital improvement plan as set forth in the *Eagle Hammock Community Development District Engineer's Report for Capital Improvements*, dated May 24, 2022; and specially benefits property within the District as further described in the Engineer's Report.
3. In my opinion, the Improvements were installed in accordance with their specifications and are capable of performing the functions for which they were intended. I am not aware of any defects in the Improvements or Work Product.
4. All known plans, permits and specifications necessary for the operation and maintenance of the Improvements are complete and on file with the District, and have been transferred, or are capable of being transferred, to the District for operations and maintenance responsibilities.
5. In my opinion, the value of the Improvements is approximately \$ 3,942,380.00. Such costs are equal to or less than each of the following: (i) what was actually paid by the Developer to create and/or construct the Improvements and Work Product, and (ii) the reasonable fair market value of the Improvements and Work Product.
6. With this document, I hereby certify that it is appropriate at this time to acquire the Improvements and Work Product.

[CONTINUED ON NEXT PAGE]

FURTHER AFFIANT SAYETH NOT.

T. M. O
Name: RODNEY GADD
Its: MANAGING MEMBER
Florida Registration No. 70875
District Engineer

STATE OF FLORIDA
COUNTY OF PAUL

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 20th day of September, 2023, by Rodney Gadd, _____ of Gadd & Associates, LLC, who is personally known to me or who has produced as identification, and did or did not take the oath.



Melissa L. Bryant
Notary Public, State of Florida
Print Name: Melissa Bryant
Commission No.: 711212025
My Commission Expires: HH 152731

Exhibit A
Improvements and Work Product

Eagle Hammock of Eagle Lake, LLC, has caused to be completed in and for the Eagle Hammock Community Development District, the following Improvements located on Tracts A, B, C, E, F, G, and H, and within all drainage easements, of the Plat Titled "Eagle Hammock," recorded at Plat Book 192, Pages 10 et seq., of the Official Records of Polk County, Florida:

Improvements

Drainage/Surface Water Management – All drainage and surface water management systems, including but not limited to lakes, ponds, sod, surface water control structures, pipes, curbs, gutter, inlets, gravity walls, and other water conveyance structures, as well as all catch-basins and related stormwater facilities.

Landscaping/Irrigation - All plants, trees, timber, shrubbery, and other landscaping and plantings, and all irrigation systems, including but not limited to wells, pumps, lines, spray heads, and related system components now a part of the property constructed in and for the District.

Hardscaping – All signage, entry monuments and features, pavers, walkways, sidewalks, and related improvements.

Parks/Recreation/Other - All conservation open spaces, parks, recreational spaces, trails and related improvements now a part of the property constructed in and for the District, including the District's Amenity Center comprised of a clubhouse, pool, playground, and other related facilities.

Work Product

All of the right, title, interest, and benefit in, to, and under any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

ACKNOWLEDGMENT AND RELEASE

THIS ACKNOWLEDGMENT AND RELEASE is made the 26TH day of September 2023, by **BLUE OX ENTERPRISES, LLC**, a Florida limited liability company, with a mailing address of 500 North Way, Sanford, FL 32773, (the “Contractor”), in favor of the **EAGLE HAMMOCK COMMUNITY DEVELOPMENT DISTRICT** (the “District”), which is a local unit of special-purpose government situated in Polk County, Florida, and having offices located at c/o Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801.

WHEREAS, pursuant to that certain Site Work Contract – One Thousand Oaks as amended from time to time (“**Contract**”) between Contractor and Eagle Hammock of Eagle Lake, LLC (“**Developer**”), Contractor has constructed for Developer certain infrastructure improvements, as described in **Exhibit A** (“**Improvements**”); and

WHEREAS, Developer may in the future convey the Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District’s right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

SECTION 1. GENERAL. The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

SECTION 2. ACQUISITION OF IMPROVEMENTS. Contractor acknowledges that the District is or has acquired the Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.

SECTION 3. WARRANTY. Contractor hereby expressly acknowledges the District’s right to enforce the terms of the Contract, including but not limited to any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.

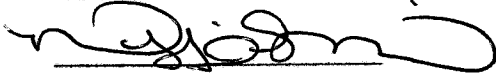
SECTION 4. INDEMNIFICATION. Contractor indemnifies and holds the District harmless from any claims, demands, liabilities, judgments, costs, or other actions that may be brought against or imposed upon the District in connection with the Improvements because of any act or omission of Contractor, its agents, employees, or officers. Said indemnification shall include, but not be limited to, any reasonable attorney’s fees and costs incurred by the District.

SECTION 5. CERTIFICATE OF PAYMENT. Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the appropriateness of payment made for the Improvements. This document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

SECTION 6. EFFECTIVE DATE. This Release shall take effect upon execution.

[Signature page to Contractor Release]

ATTEST



MELISSA SMITH

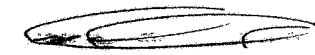
[print name]



HEATHER FREDERICK

[print name]

BLUE OX ENTERPRISES, LLC



By: MATHEW LEMBRICH

Its: CFO

EXHIBIT A
Construction Contract

SITE WORK CONTRACT

PROJECT: ONE THOUSAND OAKS

OWNER: ONE THOUSAND OAKS, LLC
4900 DUNDEE ROAD
WINTER HAVEN, FL 33884

ENGINEER: GADD AND ASSOCIATES
ATTN: RODNEY A. GADD, P.E.
1925 US HWY 98 S., SUITE 201
LAKELAND, FL 33801

CONTRACTOR: Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773
Phone (407) 339-4839

CONTRACT AMOUNT: \$ 4,807,745.97

This Site Work Contract (the "Contract") is made this 29th day of June, 2021, by and between Blue Ox Enterprises, LLC (hereinafter referred to as the "Contractor") AND One Thousand Oaks, LLC. (hereinafter referred to a the "Owner") to perform the Work as defined in Article 3.

ARTICLE 1 - CONTRACT DOCUMENTS.

1.1 The "Contract Documents" include the Contract and all documents attached to or incorporated by reference in this Contract; any modifications or changes to those documents after the execution of the Contract; and the documents identified in **Exhibit B**

1.2 These aforementioned Contract Documents form the Contract, and are all as fully a part of the Contract as if attached to this Contract or repeated herein. The Owner will supply Contractor with a complete set of the Contract Documents. Additional copies may be made at the Contractor's expense. The Contract Documents are available for review and copying at the Owner's address listed above during normal business hours. Contractor certifies that it has examined all of the Contract Documents, as defined in the preceding paragraph, prepared for the entire Project that define the Work of this Contract. The Contractor and its subcontractors and suppliers will be bound by all parts of the Contract Documents insofar as they relate in any way to the Work under this Subcontract.

1.3 The following Exhibits are attached to and incorporated by reference into this Subcontract:

EXHIBIT A: Proposal

EXHIBIT B: Contract Documents (Attach a complete listing by title, date and number of pages.)

EXHIBIT C: Pay Application with Schedule of Values

EXHIBIT D: Form of Partial Lien Release

EXHIBIT E: Form of Final Lien Release

EXHIBIT F: Schedule

EXHIBIT G: N/A

ARTICLE 2 – CONTRACT SUM AND PAYMENT

2.1 The Contract Amount is the amount first stated above.

2.2 Terms of Payment. Contractor shall submit to Owner an application for payment on the form contained in attached Exhibit C no later than the 25th day of the calendar month for the preceding thirty (30) days. Contractor's applications for payment shall be itemized and supported by Contractor schedule of values, also contained in Exhibit C. Payment applications shall include payment requests on account of properly authorized Change Orders. When applicable, the Contractor's applications for payment shall include the applicable lien release (partial lien release in the form provided in Exhibit D or final lien release in the form provided in Exhibit E for the Contractor, and its subcontractors, material suppliers and anyone else that has timely served a Notice to Owner pursuant to the requirements of Florida Statute § 713.06.

2.3 Final Payment. All conditions of this Contract which apply to partial payments shall also apply to final payments. It is further understood that receipt of any written guarantees or necessary brochures and data in the required amounts, as built drawings, and O&M manuals shall be conditions precedent to the Owner making final payment to Contractor. Notwithstanding anything to the contrary appearing herein or in any of the Contract Documents,

2.4 Owner reserves the right to issue payment jointly to the Contractor and its subcontractors, material suppliers and/or sub-subcontractors, if the Contractor has failed to make proper payments to any lienors who timely and properly served a notice to owner.

ARTICLE 3 -THE WORK.

3.1 Contractor shall provide all labor, materials, equipment and services necessary or incidental to complete the Work described in Exhibit A, and all of which shall be provided in full accord with the Contract Documents. Upon notification from Owner, Contractor shall commence

the Work. The Contractor shall complete the work in strict compliance with the Contract Documents and the Owner's Schedule.

3.2 Time is of the essence for this Contract. In the event that Contractor fails to comply or is otherwise unable to complete the Work and/or the time frame of performance and this failure is not corrected within five (5) business days after receipt of written notice from the Owner specifying the default, then without prejudice, Owner may furnish the necessary materials and/or employ the workers necessary to remedy the situation at the expense of Contractor. Contractor agrees to pay for any expense, including but not limited to, liquidated damages and/or road-user cost, that Owner may suffer as a result of Contractor's failure through causes within Contractor's control to carry out any provisions of this Subcontract, and Owner may deduct the costs thereof from any estimate otherwise due.

3.3 Contractor shall supervise its work with a competent representative who will be on the project site during all working hours of Contractor, and who will be vested with full authority to direct the performance of the work.

3.4 Owner shall pay for all permits and governmental fees, licenses, and inspections that may be required for the proper execution and completion of Contractor's Work.

3.5 Submittals. All samples and shop drawings which are required to be approved shall be submitted by Contractor in the format and quantities requested by Owner.

3.6 Clean Up. During the progress of the Work, Contractor shall store materials and equipment in an orderly manner and shall keep the premises at all times free from debris and obstructions. Upon completion of the Work, Contractor shall remove all temporary buildings or facilities erected or installed by Contractor or its subcontractors, all construction equipment, surplus materials, and supplies belonging to Contractor or its subcontractors, and shall leave the premises and the Work in perfect order, clean and ready for use.

3.7 Safety. The Contractor shall take all safety precautions according to current OSHA standards and generally accepted industry standards with respect to the performance of the Work and shall comply with all applicable laws, ordinances, rules, regulations and orders of public authorities for the safety of persons or property.

ARTICLE 5 – CHANGE ORDERS

All changes in, additions to and omissions from the Work and materials to be furnished under this Contract, as well as, any increase or decrease in the Contract Amount resulting from such changes shall be agreed upon in writing by the Owner and Contractor, such agreement not being valid unless signed by an officer of the Contractor.

ARTICLE 6 – CLAIMS

Any claim for adjustment of the Contract Amount under this must be made in writing within twenty (20) days from the date such changes are ordered by the Owner. The Contract Amount shall be equitably adjusted on account of any such changes.

ARTICLE 7 – TERMINATION

7.1 Termination for Default. If the Contractor fails or neglects to carry out the Work in accordance with the Contract Documents or otherwise fails to perform in accordance with this Contract (including voluntary termination) and fails within five (5) business days after receiving written notice from the Owner to commence and continue correction of such default or neglect with diligence and promptness, the Owner may cure the default and charge the cost to the Contractor.

ARTICLE 8 – INSURANCE

8.1 Prior to the start of the Contractor's work, The Contractor shall procure for the Contractor's Work and maintain in force throughout the completion of the Work, the following types of coverage:

A) Worker's Compensation in an amount that is no less than the minimum required by laws of the State where the Work is performed.

B) Commercial General Liability Insurance. Commercial General Liability Insurance coverage must be on occurrence basis i.e. the must provide coverage for damage or injury suffered as a result of Contractor's defect work even if the date of injury or damage or the date of the claim occurs after the expiration of the policy. The policy must provide coverage for personal injury, bodily injury, wrongful death, broad form property damage, products and completed operations, Contractor's protective coverage and contractual liability to protect Contractor, Manager/owner's rep (if applicable), owner and all other indemnified parties identified in the Contract from all claims for personal injury (including wrongful death) and property damages and to protect the Owner against liability and indemnify Owner. Coverage shall be no less than \$1,000,000.00 per occurrence and no less than \$2,000,000.00 in the aggregate. If the Work includes subsurface activities, the policy must also provide coverage for explosion, collapse, and underground hazard.

8.2 The insurance shall include contractual liability insurance covering the Contractor's obligations under Article 9 herein, and insurer must waive all rights of subrogation and recovery against the Contractor, Owner, and indemnified parties identified in Article 9.

8.3 Comprehensive or Commercial General Liability Insurance and other liability insurance may be arranged under a single policy for the full limits required or by a combination of underlying policies with the balance provided by an Excess or Umbrella Liability Policy.

8.4 The Contractor shall promptly, upon request of the Contractor, furnish a copy or permit a copy to be made of any bond covering payment of obligations arising under the Subcontract.

8.5 Performance Bond and Payment Bond. Intentionally omitted.

ARTICLE 9 – INDEMNIFICATION

9.1 For and in consideration of 1% of the Subcontract amount and to the fullest extent permitted by law, the Contractor shall defend, indemnify, protect and hold harmless the Owner, from and against any and all losses, claims for damages and to reimburse the indemnified parties for any and all expenses, including attorney fees and costs, including expert witness fees, incurred pre-suit, and at the trial and appellate levels because of:

- (a) litigation on account of infringement or alleged infringement of any intellectual property rights by reason of the Work or materials or processes used by Contractor, its Contractors and/or suppliers;
- (b) the liability for claims and liens for labor performed or materials used or furnished through or under Contractor for the Project for which Contractor is liable due to any failure of Contractor to adhere to the terms of this Subcontract or any of the Contract Documents;
- (c) liability to Contractor resulting from Contractor's failure to comply with applicable licensing requirements or any other failure to comply with any state or federal law, state or federal regulation, any ordinance, or any code;
- (d) any personal injury, loss, damage or death to any person or persons and any property damage arising out of the performance or nonperformance of Work required in this Subcontract, including, without limitation, any personal injury or loss, whether or not caused in part by the active or passive negligence or other fault of a party indemnified hereunder; provided, however, Contractor's indemnity hereunder shall not arise if such injury, loss, damage or death results from the gross negligence or willful, wanton or intentional misconduct of a party indemnified hereunder,

9.2 The monetary limit of Contractor's liability for indemnification shall be the greater of \$1,000,000.00 or the Subcontract amount.

ARTICLE 10 – DISPUTES

10.1 As a condition precedent to the filing of any suit or other legal proceedings, the Contractor and Owner shall endeavor to resolve claims, disputes or other matters in question by mediation. The parties shall share equally, the mediator's fee.

10.2 The prevailing party to any litigation, including bankruptcy litigation and appeals, as determined by the court, shall be entitled to an award of reasonable attorney's fees and cost from the non-prevailing party.

10.3 Governing Law and Venue. This Agreement shall be governed by the laws of the State of Florida. Venue for any action arising out or related to this Subcontract shall be in Seminole County, Florida.

ARTICLE 11- MISCELLANEOUS

11.1 Assignment. Neither party may assign this contract without the written consent of the other party.

11.2 Notices. All notices which may be required or permitted under this Subcontract shall be in writing and shall be served via hand delivery or by U.S. Certified Mail Return Receipt Requested to persons and addresses identified below. The notice shall be deemed served as of (1) the date said notice was delivered by hand to the intended recipient, or (2) five (5) days after the date the notice was deposited in the U.S. Mail to the address of the recipient.

(a) Notices to Contractor:

Via U.S. Certified Mail Return Receipt Requested to:
Blue Ox Enterprises, LLC
500 North Way
Sanford, FL 32772
Attn: Matt Lembrich

(b) Notices to Owner:

Via U.S. Certified Mail Return Receipt Requested to:
ONE THOUSAND OAKS, LLC
4900 DUNDEE ROAD
WINTER HAVEN, FL 33884

11.1 Entire Agreement. This Contract represents the entire agreement between the Contractor and Owner, and it supersedes all prior, representations, understandings, statements, and negotiations by the Contractor or its employees.

IN WITNESS WHEREOF, the parties have executed this Agreement on the day and year written below.

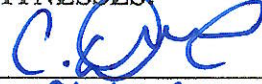
CONTRACTOR:



Mathew Lembrich, Member Officer

Date: 7/7/2021

WITNESSES:



Print: Chelsea Cartwright-Thompson



Print: MELISSA SMITH

OWNER:

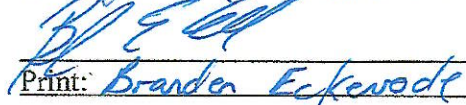


Print: Harold R. Baxter

Date: 6/29/21



Print: Halsey Carson



Print: Branden Eckevode

EXHIBIT A



500 NORTH WAY
SANFORD FL. 32773
PH 339-4800 FAX 339-4839

PROPOSAL #2021-149

PROPOSAL FOR: THOUSAND OAKS SUBDIVISION
CENTER STATE DEVELOPMENT

Date: 05/20/2021

Phase	Description	Qty	Units	Price	Total
SANITARY	1 8" PVC 0-6 SDR 26	1912	LF	\$ 22.55	\$ 43,115.60
	2 8" PVC 6-8 SDR 26	1329	LF	\$ 23.96	\$ 31,842.84
	3 8" PVC 8-10 SDR 26	1422	LF	\$ 26.96	\$ 38,337.12
	4 8" PVC 10-12 SDR 26	1204	LF	\$ 29.96	\$ 36,071.84
	5 8" PVC 12-14 SDR 26	1111	LF	\$ 34.46	\$ 38,285.06
	6 8" PVC 14-16 SDR 26	546	LF	\$ 38.44	\$ 20,988.24
	7 8" PVC 14-16 DR 18	80	LF	\$ 44.87	\$ 3,589.60
	8 8" PVC 16-18 SDR 26	188	LF	\$ 44.11	\$ 8,292.68
	9 MANHOLE 0-6	12	EA	\$ 4,180.23	\$ 50,162.76
	10 MANHOLE 6-8	2	EA	\$ 4,724.21	\$ 9,448.42
	11 MANHOLE 8-10	7	EA	\$ 5,367.69	\$ 37,573.83
	12 MANHOLE 10-12	1	EA	\$ 5,854.08	\$ 5,854.08
	13 MANHOLE 12-14	4	EA	\$ 6,372.18	\$ 25,488.72
	14 MANHOLE 14-16	2	EA	\$ 6,868.21	\$ 13,736.42
	15 MANHOLE 16-18	1	EA	\$ 11,651.76	\$ 11,651.76
	16 MANHOLE LINED 12-14	1	EA	\$ 18,019.93	\$ 18,019.93
	17 SINGLE LATERAL	30	EA	\$ 916.28	\$ 27,488.40
	18 DOUBLE LATERAL	117	EA	\$ 1,044.68	\$ 122,227.56
	19 6" PVC FORCEMAIN	1940	LF	\$ 18.55	\$ 35,987.00
	20 6" PLUG VALVE	1	EA	\$ 1,305.87	\$ 1,305.87
	21 FORCEMAIN FITTINGS	1	LS	\$ 14,365.44	\$ 14,365.44
	22 10" x 6" WET TAP	1	EA	\$ 4,259.37	\$ 4,259.37
	23 LIFT STATION	1	LS	\$ 307,526.19	\$ 307,526.19
	24 AIR RELEASE VALVE	1	EA	\$ 5,370.01	\$ 5,370.01
	25 CLEAN SANITARY LINES	7792	LF	\$ 1.80	\$ 14,025.60
	26 TEST SANITARY LINES	7792	LF	\$ 1.44	\$ 11,220.48
	27 TEST FORCEMAIN LINES	1940	LF	\$ 1.44	\$ 2,793.60
	28 T.V. SANITARY LINES	7792	LF	\$ 1.98	\$ 15,428.16
	29 DROP CONNECTION	1	EA	\$ 1,328.58	\$ 1,328.58
	30 WELL POINTS	7792	LF	\$ 12.25	\$ 95,452.00
SANITARY TOTAL					\$ 1,051,237.16

Phase	Description	Qty	Units	Price	Total
STORM	1 15" HDPE	420	LF	\$ 29.48	\$ 12,381.60
	2 18" HDPE	1140	LF	\$ 35.79	\$ 40,800.60
	3 24" HDPE	2780	LF	\$ 49.71	\$ 138,193.80
	4 30" HDPE	1260	LF	\$ 72.19	\$ 90,959.40
	5 36" HDPE	500	LF	\$ 79.00	\$ 39,500.00
	6 14" X 23" ERCP	112	LF	\$ 32.32	\$ 3,619.84
	7 19" X 30" ERCP	24	LF	\$ 79.63	\$ 1,911.12
	8 STORM MANHOLE	6	EA	\$ 2,840.60	\$ 17,043.60
	9 J MANHOLE	2	EA	\$ 4,050.45	\$ 8,100.90
	10 15" MES	2	EA	\$ 772.86	\$ 1,545.72
	11 18" MES	3	EA	\$ 865.95	\$ 2,597.85
	12 24" MES	10	EA	\$ 1,106.69	\$ 11,066.90
	13 30" MES	5	EA	\$ 2,186.54	\$ 10,932.70
	14 36" MES	2	EA	\$ 2,678.31	\$ 5,356.62
	15 P-5 INLET	14	EA	\$ 3,987.43	\$ 55,824.02
	16 P-6 INLET	26	EA	\$ 4,369.37	\$ 113,603.62
	17 J-6 INLET	2	EA	\$ 5,543.48	\$ 11,086.96
	18 TYPE C INLET	7	EA	\$ 2,032.97	\$ 14,230.79
	19 TYPE D INLET	1	EA	\$ 2,932.39	\$ 2,932.39
	20 D CONTROL STRUCTURE	8	EA	\$ 4,737.48	\$ 37,899.84
	21 CLEAN STORM	6236	LF	\$ 2.76	\$ 17,211.36
	22 STORM INSPECTION	6236	EA	\$ 2.16	\$ 13,469.76
	23 WELL POINTS	2900	LF	\$ 12.25	\$ 35,525.00
STORM TOTAL					\$ 685,794.39

Phase	Description	Qty	Units	Price	Total
WATER	1 4" PVC	1525	LF	\$ 13.42	\$ 20,465.50

2 6" PVC	2290	LF	\$	18.55	\$	42,479.50
3 8" PVC	4660	LF	\$	26.26	\$	122,371.60
4 WM SINGLE SERVICE	41	EA	\$	572.78	\$	23,483.98
5 WM DOUBLE SERVICE	111	EA	\$	1,202.47	\$	133,474.17
6 WATER FITTINGS	1	LS	\$	39,421.51	\$	39,421.51
7 4" GATE VALVE	5	EA	\$	1,002.69	\$	5,013.45
8 6" GATE VALVE	4	EA	\$	1,266.11	\$	5,064.44
9 8" GATE VALVE	14	EA	\$	1,683.41	\$	23,567.74
10 FIRE HYDRANT	9	EA	\$	5,250.41	\$	47,253.69
11 2" BLOW OFF	3	EA	\$	895.32	\$	2,685.96
12 2" JUMPER	1	EA	\$	2,286.50	\$	2,286.50
13 10" X 8" WET TAP	1	EA	\$	5,023.01	\$	5,023.01
14 TEST WATER LINES	8475	LF	\$	1.87	\$	15,848.25
15 SAMPLE POINTS	12	EA	\$	738.70	\$	8,864.40
WATER TOTAL						\$ 497,303.70

Phase	Description	Qty	Units	Price	Total		
PAVING	1 ASPHALT 1.25"	20700	SY	\$ 8.70	\$ 180,090.00		
	2 6" CONCRETE PAVING	1430	SF	\$ 8.75	\$ 12,512.50		
	3 CRUSHED CONCRETE 6"	20700	SY	\$ 17.66	\$ 365,562.00		
	4 STABILIZER 12"	26130	SY	\$ 5.71	\$ 149,202.30		
	5 TYPE F CURB	360	LF	\$ 16.41	\$ 5,907.60		
	6 MEDIAN CURB	340	LF	\$ 17.58	\$ 5,977.20		
	7 MIAMI CURB	15580	LF	\$ 14.37	\$ 223,884.60		
	8 4' SIDEWALK 6" THICK	100	LF	\$ 19.20	\$ 1,920.00		
	9 4' SIDEWALK 4" THICK	2070	LF	\$ 17.60	\$ 36,432.00		
	10 5' WHEEL CHAIR RAMP	14	EA	\$ 1,340.60	\$ 18,768.40		
	11 SIGNS-PAVEMENT MARKINGS	1	LS	\$ 17,070.60	\$ 17,070.60		
	PAVING TOTAL						\$ 1,017,327.20

Phase	Description	Qty	Units	Price	Total	
EARTHWORK	1 INLET PROTECTION	50	EA	\$ 127.21	\$ 6,360.50	
	2 SILT FENCE	5830	LF	\$ 1.16	\$ 6,762.80	
	3 DOUBLE SILT FENCE	4950	LF	\$ 2.34	\$ 11,583.00	
	4 CLEARING - BURN ON SITE	6	ACR	\$ 5,221.81	\$ 31,330.86	
	5 MOW AND DISK	59	ACR	\$ 275.52	\$ 16,255.68	
	6 STRIPPINGS	4955	CY	\$ 1.51	\$ 7,482.05	
	7 EXCAVATION	186965	CY	\$ 1.92	\$ 358,972.80	
	8 EMBANKMENT	186965	CY	\$ 0.61	\$ 114,048.65	
	9 POND GRADING	30595	SY	\$ 0.61	\$ 18,662.95	
	10 SWALE GRADING	2860	SY	\$ 0.61	\$ 1,744.60	
	11 PAD GRADING	263	EA	\$ 169.99	\$ 44,707.37	
	12 R/W GRADING	21710	SY	\$ 0.53	\$ 11,506.30	
	13 SLOPE GRADING	13525	SY	\$ 0.53	\$ 7,168.25	
	14 POND SOD	30595	SY	\$ 2.81	\$ 85,971.95	
	15 SWALE SOD	2860	SY	\$ 2.81	\$ 8,036.60	
	16 R/W SOD	2005	SY	\$ 2.81	\$ 5,634.05	
	17 SEED & MULCH	41	ACR	\$ 1,080.00	\$ 44,280.00	
	18 STRIP SOD	6265	SY	\$ 2.81	\$ 17,604.65	
	19 SLOPE SOD	13525	SY	\$ 2.81	\$ 38,005.25	
	20 DEMO FENCE	6980	LF	\$ 1.04	\$ 7,259.20	
	21 DEMO EX PAVING	2620	SF	\$ 1.31	\$ 3,432.20	
	22 GRAVITY WALL	180	LF	\$ 267.17	\$ 48,090.60	
	23 6" VINYL FENCE	180	LF	\$ 16.15	\$ 2,907.00	
	24 DEWATERING	1	LS	\$ 173,598.93	\$ 173,598.93	
EARTHWORK TOTAL						\$ 1,071,406.24

Phase	Description	Qty	Units	Price	Total
OFFSITE	1 EXCAVATE AND GRADE	1	LS	\$ 8,455.05	\$ 8,455.05
	2 ASPHALT OVERLAY 1"	3530	SY	\$ 8.34	\$ 29,440.20
	3 ASPHALT 1.50"	1640	SY	\$ 13.56	\$ 22,238.40
	4 1" MILL EXISTING	150	SY	\$ 36.00	\$ 5,400.00
	5 LIMEROCK 12"	1640	SY	\$ 24.22	\$ 39,720.80
	6 COMPACTED BASE 12"	1700	SY	\$ 2.26	\$ 3,842.00
	7 STABILIZER 6" CURB	200	SY	\$ 4.53	\$ 906.00
	8 STABILIZED SHOULDER	550	SY	\$ 9.61	\$ 5,285.50
	9 TYPE F CURB	590	LF	\$ 20.93	\$ 12,348.70
	10 6" CONCRETE DRIVE	375	SF	\$ 8.75	\$ 3,281.25
	11 4' SIDEWALK 4" THICK	195	LF	\$ 19.21	\$ 3,745.95
	12 6' SIDEWALK 4" THICK	395	LF	\$ 21.10	\$ 8,334.50
	13 R/W GRADING	850	SY	\$ 0.75	\$ 637.50

14 R/W SOD	850	SY	\$	2.81	\$	2,388.50
15 SIGNS-PAVEMENT MARKINGS	1	LS	\$	8,709.60	\$	8,709.60
16 J-6 INLET (DOGHOUSE)	1	EA	\$	10,332.69	\$	10,332.69
17 8" PVC	60	LF	\$	75.03	\$	4,501.80
18 TEST WATER LINES	60	LF	\$	1.87	\$	112.20
19 OPEN CUT/ REPAIR	20	SY	\$	312.64	\$	6,252.80
20 SAMPLE POINTS	1	EA	\$	738.72	\$	738.72
21 GRAVITY WALL	245	LF	\$	267.17	\$	65,456.65
22 42" HANDRAIL	245	LF	\$	28.63	\$	7,014.35
23 DEWATERING OFFSITE	1	LS	\$	9,024.44	\$	9,024.44
24 MOT	1	LS	\$	50,883.19	\$	50,883.19
OFFSITE TOTAL						\$ 309,050.79

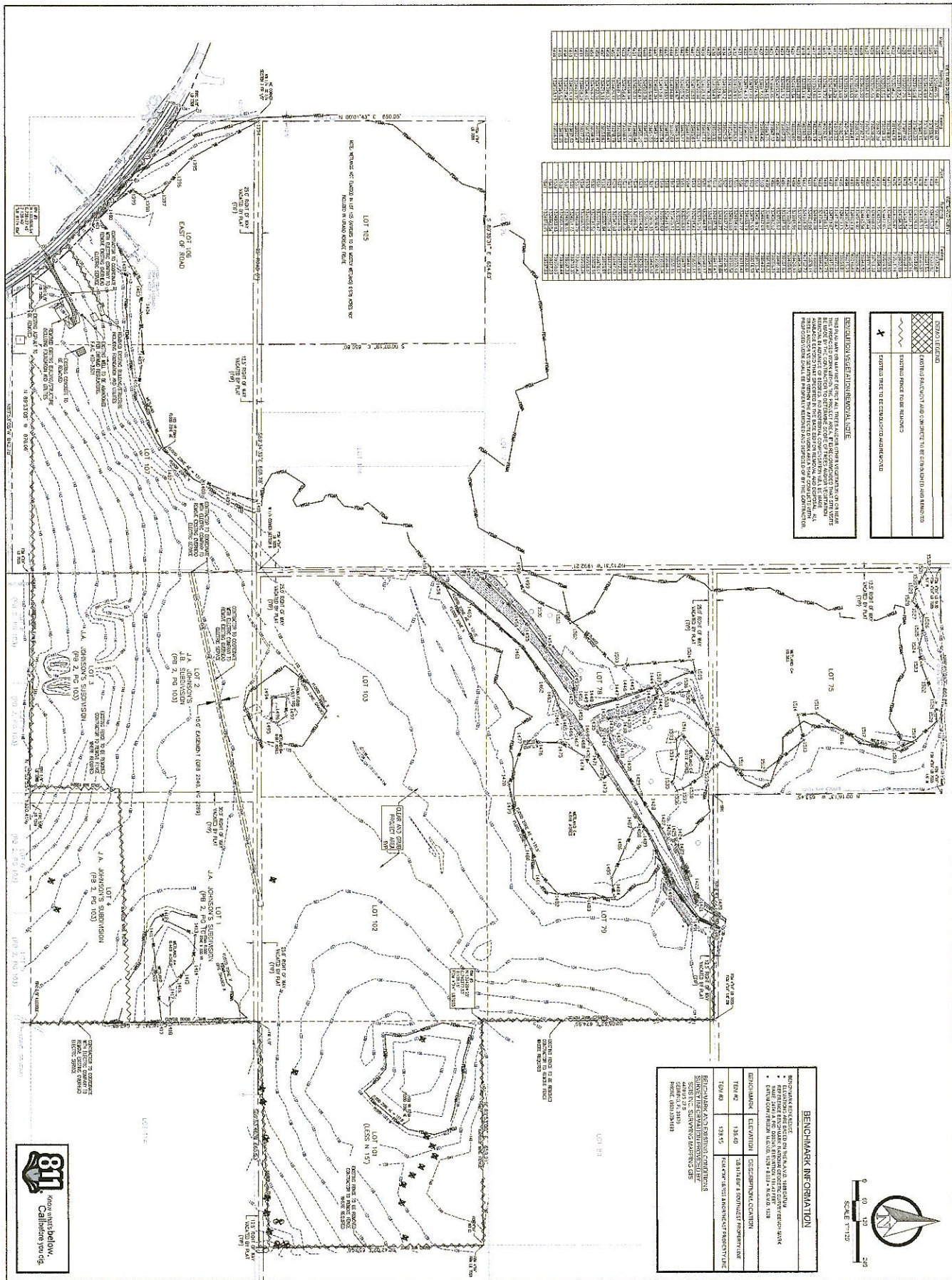
Phase	Description	Qty	Units	Price	Total	
MISC.	1 SURVEY	1	LS	\$ 28,275.00	\$ 28,275.00	
	2 ASBUILTS	1	LS	\$ 9,930.88	\$ 9,930.88	
	3 MOBILIZATION	1	LS	\$ 19,438.50	\$ 19,438.50	
	4 GEOTECH TESTING	1	LS	\$ 45,600.00	\$ 45,600.00	
	5 LOT TESTING	263	EA	\$ 150.00	\$ 39,450.00	
	6 ENVIRONMENTAL	1	LS	\$ 2,800.45	\$ 2,800.45	
	7 S.W.P.P.P.	1	LS	\$ 3,600.00	\$ 3,600.00	
	8 R/W PERMIT	1	LS	\$ 6,310.86	\$ 6,310.86	
	9 RIP RAP	320	SY	\$ 63.19	\$ 20,220.80	
MISC. TOTAL						\$ 175,626.49

SANITARY TOTAL	\$	1,051,237.16
STORM TOTAL	\$	685,794.39
WATER TOTAL	\$	497,303.70
PAVING TOTAL	\$	1,017,327.20
EARTHWORK TOTAL	\$	1,071,406.24
OFFSITE TOTAL	\$	309,050.79
MISC. TOTAL	\$	175,626.49
TOTAL	\$	4,807,745.97

Notes:

- 1 Well / septic abandonment, demolition of ex. structures is not included in this Proposal.
- 2 Construction layout is included for Contractors scope of work only
- 3 Proposal is based on no unsuitable/contaminated material removal and/or replacement.
- 4 Contractors schedule is subject to revision should adverse or changed conditions occur.
- 5 Proposal on lot grading to be left 8" below finished floor +/- 2 inches.
- 6 No hardscape, walls, fences, irrigation or landscaping in this proposal.
- 7 Chemical testing or treatment of any dewatering is not included.
- 8 All Pipe work is bid with the assumption that on-site fill is acceptable backfill material.
- 9 Proposal for pond and swales to be sodded and graded one time.
- 10 This proposal is subject to a mutually agreed upon contract and payment schedule.
- 11 Sidewalk included for common areas only.
- 12 ROW permit is included in this proposal, all other permits and fees by others.
- 13 Relocation of existing utilities by others unless specifically listed above.
- 14 Paving proposal is for one lift and one mobilization only. Add \$5,400.00 for each addl. Mobilization.
- 15 Modification of existing pump stations not included in this proposal unless specifically listed above.
- 16 This proposal is based on GADD & ASSOCIATES ENGINEERING plans dated 4-29-2021.
- 17 Due to the volatility of the materials market this proposal is good for 30 days from the date listed above.

EXHIBIT B



LOT NO.	AREA (SQ. FT.)	AREA (AC.)
LOT 75	10,000	0.23
LOT 76	10,000	0.23
LOT 77	10,000	0.23
LOT 78	10,000	0.23
LOT 79	10,000	0.23
LOT 80	10,000	0.23
LOT 81	10,000	0.23
LOT 82	10,000	0.23
LOT 83	10,000	0.23
LOT 84	10,000	0.23
LOT 85	10,000	0.23
LOT 86	10,000	0.23
LOT 87	10,000	0.23
LOT 88	10,000	0.23
LOT 89	10,000	0.23
LOT 90	10,000	0.23
LOT 91	10,000	0.23
LOT 92	10,000	0.23
LOT 93	10,000	0.23
LOT 94	10,000	0.23
LOT 95	10,000	0.23
LOT 96	10,000	0.23
LOT 97	10,000	0.23
LOT 98	10,000	0.23
LOT 99	10,000	0.23
LOT 100	10,000	0.23
LOT 101	10,000	0.23
LOT 102	10,000	0.23
LOT 103	10,000	0.23
LOT 104	10,000	0.23
LOT 105	10,000	0.23

LOT NO.	AREA (SQ. FT.)	AREA (AC.)
LOT 106	10,000	0.23
LOT 107	10,000	0.23
LOT 108	10,000	0.23
LOT 109	10,000	0.23
LOT 110	10,000	0.23
LOT 111	10,000	0.23
LOT 112	10,000	0.23
LOT 113	10,000	0.23
LOT 114	10,000	0.23
LOT 115	10,000	0.23

LEGEND

- EXISTING STRUCTURE
- EXISTING FENCE LINE
- EXISTING TREE TO BE DEMOLISHED AND REMOVED
- PROPOSED DEMOLITION

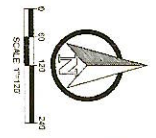
NOTES:

- THIS PLAN WAS PREPARED BY THE ENGINEER BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE INFORMATION TO BE RELIABLE.
- THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE INFORMATION TO BE RELIABLE.
- THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE INFORMATION TO BE RELIABLE.
- THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE INFORMATION TO BE RELIABLE.

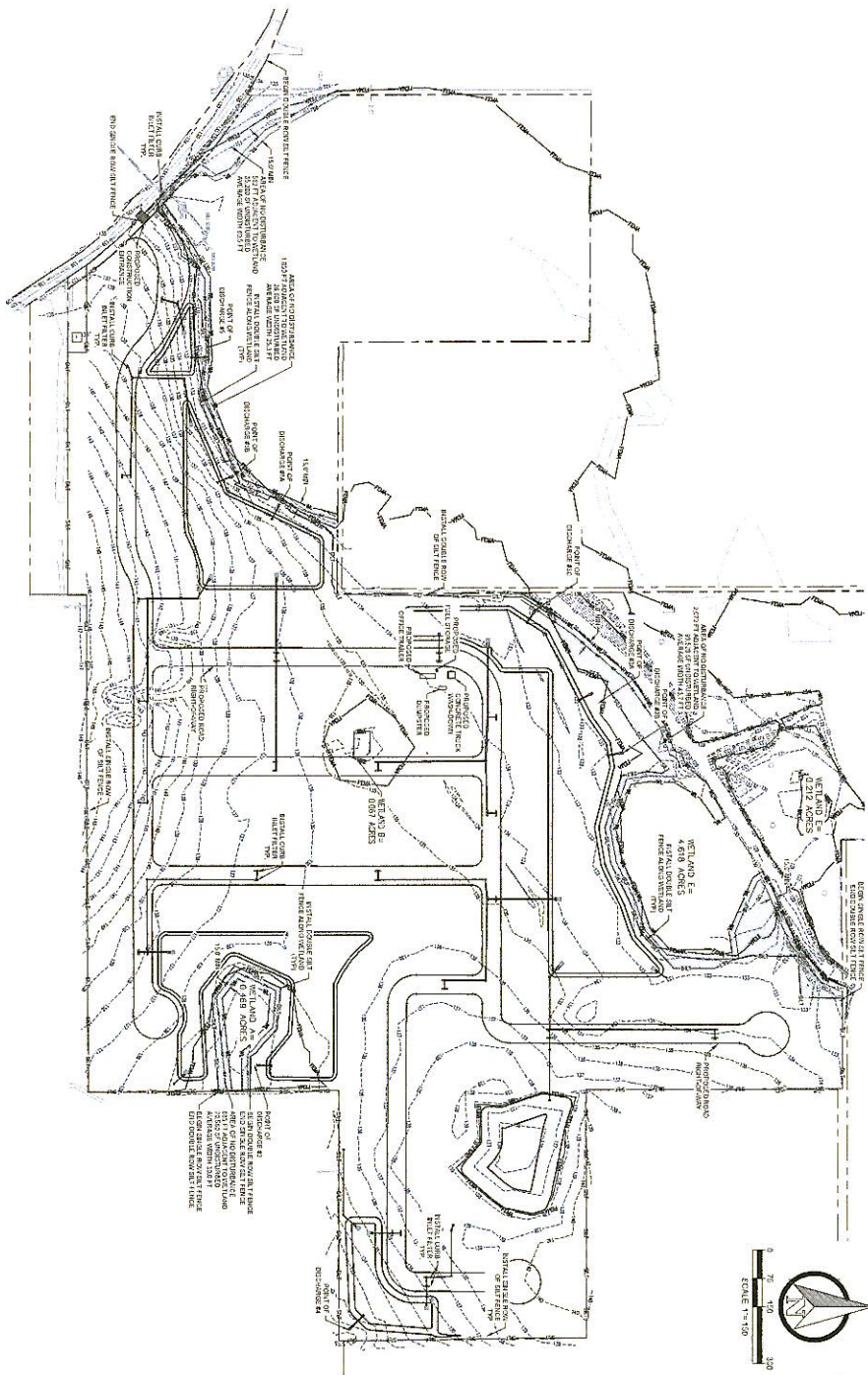
BENCHMARK INFORMATION

MARK	ELEVATION	MARK TYPE
109.48	131.15	IRON PIPE
109.48	131.15	IRON PIPE

ENGINEER: GADD & ASSOCIATES
 1102 US HWY 98 S, SUITE 201
 LAKELAND, FL 33853
 PHONE: (862) 545-9978
 CERTIFICATE OF AUTHORIZATION #20184
 www.GADD-CO.com



<p>THOUSAND OAKS SUBDIVISION</p> <p>1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839</p> <p>OVERALL EXISTING CONDITIONS/DEMOLITION PLAN</p>		<p>GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING</p> <p>1102 US HWY 98 S, SUITE 201 LAKELAND, FL 33853 PHONE: (862) 545-9978 CERTIFICATE OF AUTHORIZATION #20184 www.GADD-CO.com</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION							
<p>PROJECT # 1185.01</p> <p>DATE: C2.0</p>	<p>NOT FOR CONSTRUCTION (FOR REVIEW ONLY)</p>	<p>ISSUED FOR: 4/20/21</p> <p>REVISION: 1/20/21</p> <p>PREPARED BY: GADD</p> <p>CHECKED BY: GADD</p> <p>DATE: 4/20/21</p>	<p>PROJECT: 1185.01</p> <p>DATE: C2.0</p>						



DEWATERING NOTE:
 CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND SUBMITTING A
 DEWATERING PLAN TO SWFWMD. PLAN SHALL BE APPROVED PRIOR TO
 ANY DEWATERING ACTIVITY.



THOUSAND OAKS SUBDIVISION 1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839		GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING 1525 US HWY 98 S SUITE 201 LAKELAND, FL 33501 PHONE: (850) 850-9979 Certificate of Authorization #30164 www.GADDcivil.com	REVISIONS																
STORM WATER POLLUTION PREVENTION PLAN			<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY					<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY			
NO.	DATE	DESCRIPTION	BY																
NO.	DATE	DESCRIPTION	BY																

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT.
6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

CONSTRUCTION SCHEDULE:

The construction schedule shall be as follows:

1. Site Preparation: 10/15/2021 - 11/15/2021
2. Foundation Work: 11/15/2021 - 12/15/2021
3. Structural Work: 12/15/2021 - 01/15/2022
4. Mechanical/Electrical/Plumbing (MEP): 01/15/2022 - 02/15/2022
5. Interior Finishes: 02/15/2022 - 03/15/2022
6. Exterior Finishes: 03/15/2022 - 04/15/2022
7. Final Inspection: 04/15/2022 - 05/15/2022

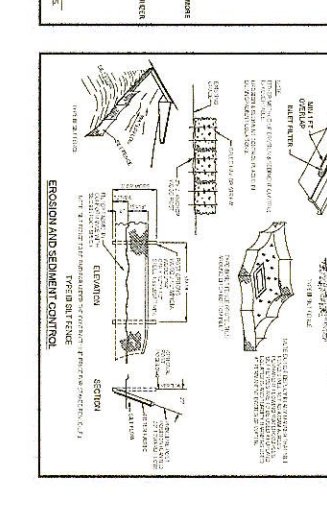
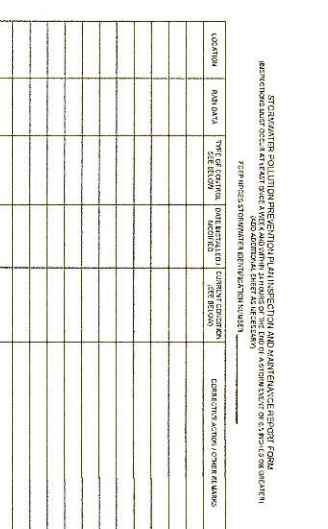
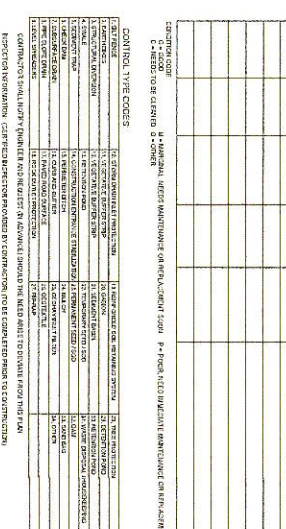
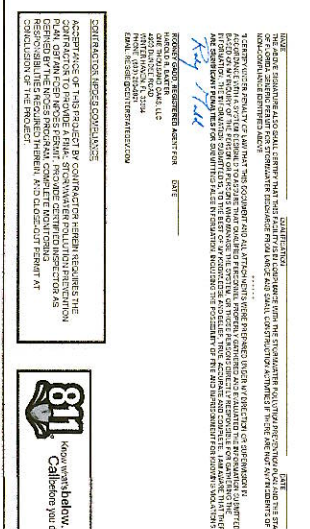
NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection



NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

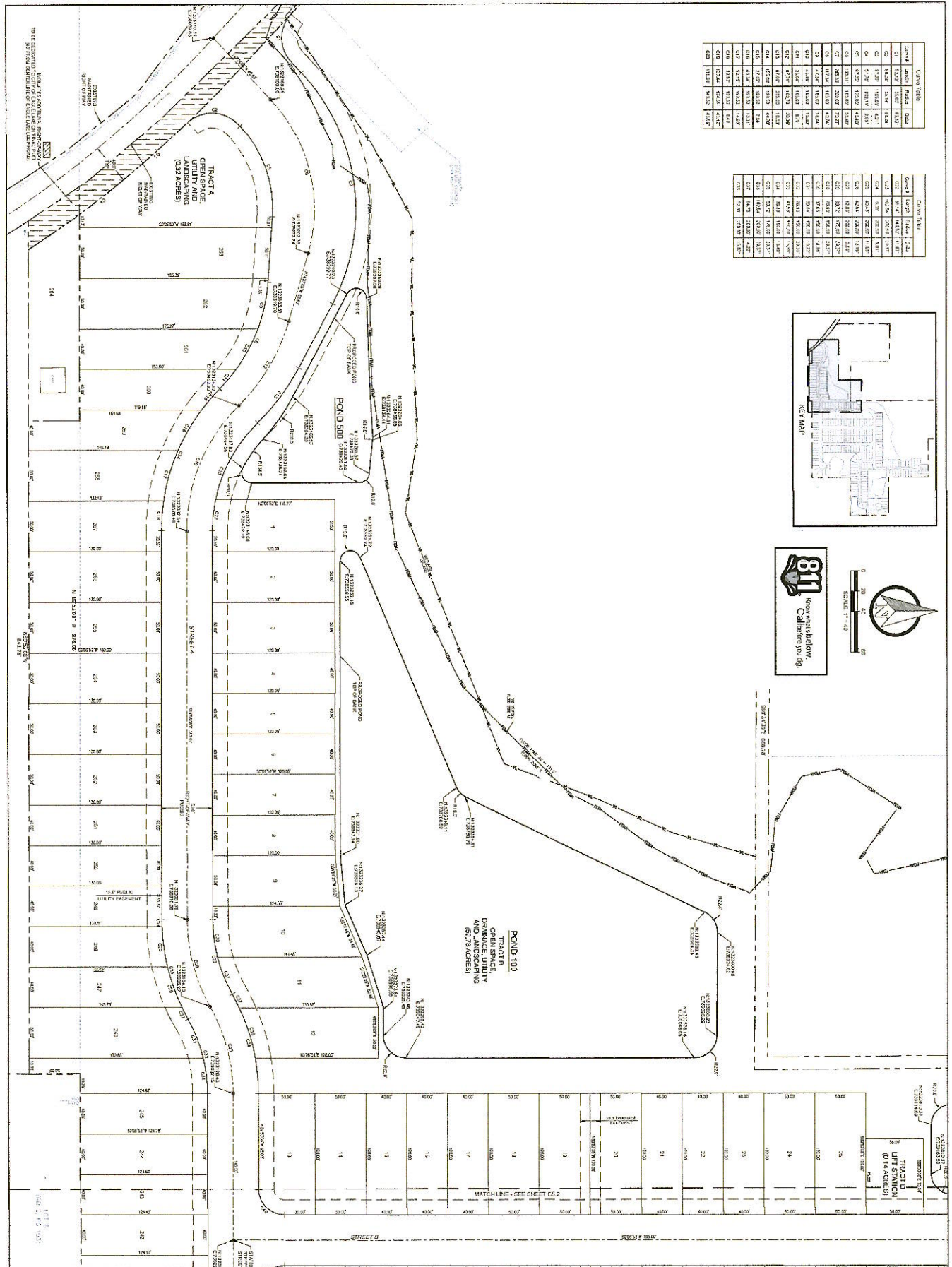
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
 STORM WATER POLLUTION PREVENTION PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1802 S.W. 15th Ave., Suite 201
 Fort Lauderdale, FL 33311
 PHONE: (954) 940-9979
 Certificate of Authorization #20164
 www.Gaddofc.com

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

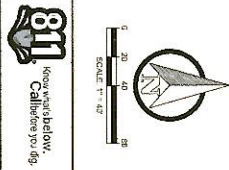
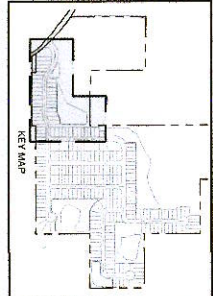
NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection

NO.	DATE	DESCRIPTION
1.	10/15/2021	Site Preparation
2.	11/15/2021	Foundation Work
3.	12/15/2021	Structural Work
4.	01/15/2022	MEP Installation
5.	02/15/2022	Interior Finishes
6.	03/15/2022	Exterior Finishes
7.	04/15/2022	Final Inspection



Lot #	Length	Width	Area
01	132.00	132.00	17424.00
02	132.00	132.00	17424.00
03	132.00	132.00	17424.00
04	132.00	132.00	17424.00
05	132.00	132.00	17424.00
06	132.00	132.00	17424.00
07	132.00	132.00	17424.00
08	132.00	132.00	17424.00
09	132.00	132.00	17424.00
10	132.00	132.00	17424.00
11	132.00	132.00	17424.00
12	132.00	132.00	17424.00
13	132.00	132.00	17424.00
14	132.00	132.00	17424.00
15	132.00	132.00	17424.00
16	132.00	132.00	17424.00
17	132.00	132.00	17424.00
18	132.00	132.00	17424.00
19	132.00	132.00	17424.00
20	132.00	132.00	17424.00
21	132.00	132.00	17424.00
22	132.00	132.00	17424.00
23	132.00	132.00	17424.00
24	132.00	132.00	17424.00

Lot #	Length	Width	Area
01	132.00	132.00	17424.00
02	132.00	132.00	17424.00
03	132.00	132.00	17424.00
04	132.00	132.00	17424.00
05	132.00	132.00	17424.00
06	132.00	132.00	17424.00
07	132.00	132.00	17424.00
08	132.00	132.00	17424.00
09	132.00	132.00	17424.00
10	132.00	132.00	17424.00
11	132.00	132.00	17424.00
12	132.00	132.00	17424.00
13	132.00	132.00	17424.00
14	132.00	132.00	17424.00
15	132.00	132.00	17424.00
16	132.00	132.00	17424.00
17	132.00	132.00	17424.00
18	132.00	132.00	17424.00
19	132.00	132.00	17424.00
20	132.00	132.00	17424.00
21	132.00	132.00	17424.00
22	132.00	132.00	17424.00
23	132.00	132.00	17424.00
24	132.00	132.00	17424.00



THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33838
 GENERAL LOT LAYOUT PLAN

REVISIONS

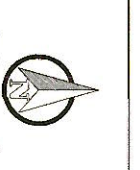
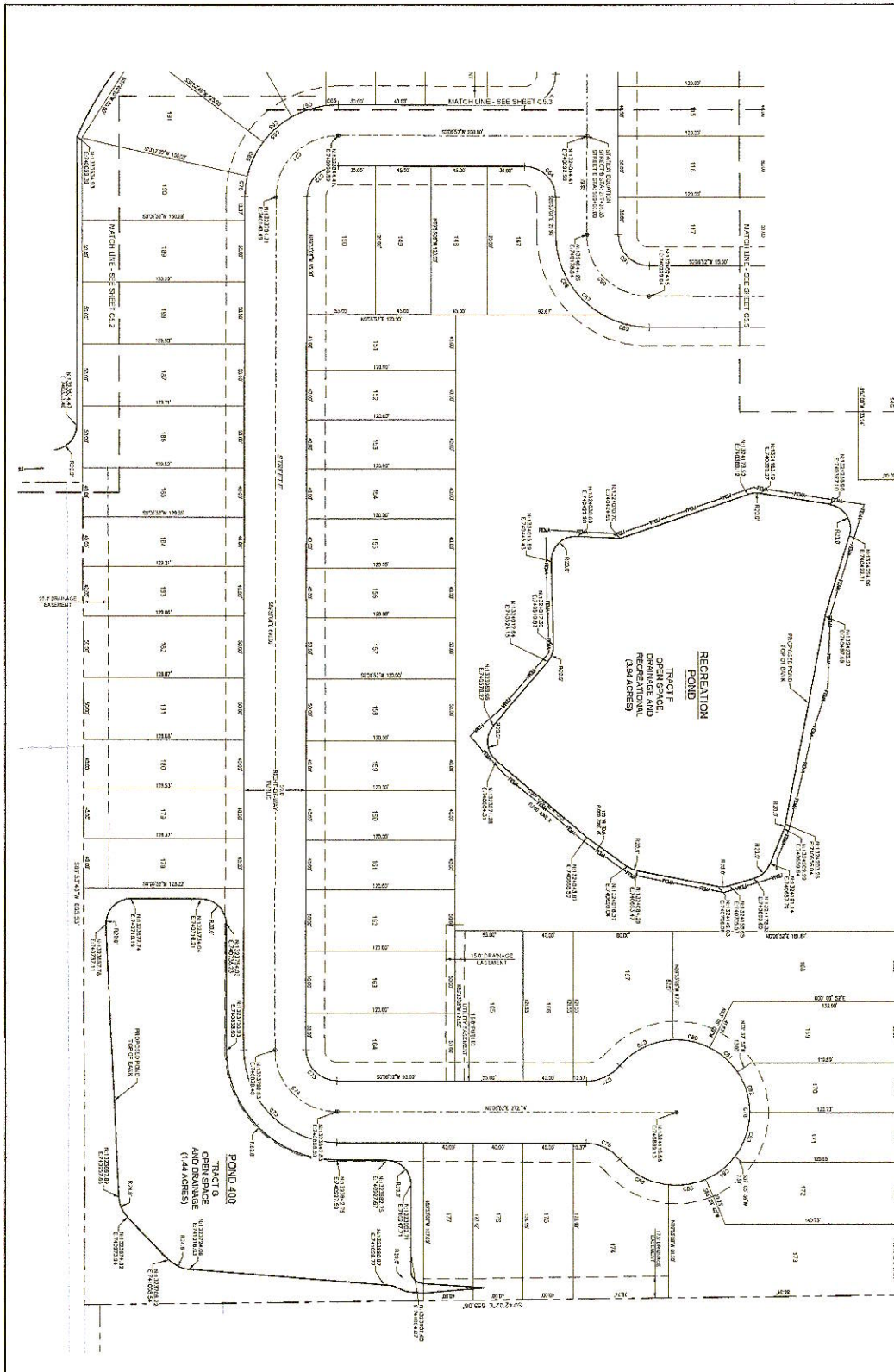
NO.	DATE	DESCRIPTION
1	4/29/21	ISSUED FOR PERMITS
2	4/29/21	ISSUED FOR PERMITS
3	4/29/21	ISSUED FOR PERMITS
4	4/29/21	ISSUED FOR PERMITS
5	4/29/21	ISSUED FOR PERMITS
6	4/29/21	ISSUED FOR PERMITS
7	4/29/21	ISSUED FOR PERMITS
8	4/29/21	ISSUED FOR PERMITS
9	4/29/21	ISSUED FOR PERMITS
10	4/29/21	ISSUED FOR PERMITS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 98 S. SUITE 201
 LAKE LAKE, FL 33409
 PHONE (813) 243-0070
 Certificate of Accreditation #20164
 www.gaddcv.com

PROJECT # 118501
 DATE: 4/29/21
 DRAWN BY: JLS
 CHECKED BY: JLS
 NOT FOR CONSTRUCTION
 FOR REVIEW ONLY
 REVIEWED BY: GADD P.E.
 P.O. # 1616 9829

Lot #	Tract #	Subdiv	Area
101	1185.01		0.41
102	1185.01		0.41
103	1185.01		0.41
104	1185.01		0.41
105	1185.01		0.41
106	1185.01		0.41
107	1185.01		0.41
108	1185.01		0.41
109	1185.01		0.41
110	1185.01		0.41
111	1185.01		0.41
112	1185.01		0.41
113	1185.01		0.41
114	1185.01		0.41
115	1185.01		0.41
116	1185.01		0.41
117	1185.01		0.41
118	1185.01		0.41
119	1185.01		0.41
120	1185.01		0.41
121	1185.01		0.41
122	1185.01		0.41
123	1185.01		0.41
124	1185.01		0.41
125	1185.01		0.41
126	1185.01		0.41
127	1185.01		0.41
128	1185.01		0.41
129	1185.01		0.41
130	1185.01		0.41
131	1185.01		0.41
132	1185.01		0.41
133	1185.01		0.41
134	1185.01		0.41
135	1185.01		0.41
136	1185.01		0.41
137	1185.01		0.41
138	1185.01		0.41
139	1185.01		0.41
140	1185.01		0.41
141	1185.01		0.41
142	1185.01		0.41
143	1185.01		0.41
144	1185.01		0.41
145	1185.01		0.41
146	1185.01		0.41
147	1185.01		0.41
148	1185.01		0.41
149	1185.01		0.41
150	1185.01		0.41
151	1185.01		0.41
152	1185.01		0.41
153	1185.01		0.41
154	1185.01		0.41
155	1185.01		0.41
156	1185.01		0.41
157	1185.01		0.41
158	1185.01		0.41
159	1185.01		0.41
160	1185.01		0.41
161	1185.01		0.41
162	1185.01		0.41
163	1185.01		0.41
164	1185.01		0.41
165	1185.01		0.41
166	1185.01		0.41
167	1185.01		0.41
168	1185.01		0.41
169	1185.01		0.41
170	1185.01		0.41
171	1185.01		0.41
172	1185.01		0.41
173	1185.01		0.41
174	1185.01		0.41
175	1185.01		0.41
176	1185.01		0.41
177	1185.01		0.41
178	1185.01		0.41
179	1185.01		0.41
180	1185.01		0.41
181	1185.01		0.41
182	1185.01		0.41
183	1185.01		0.41
184	1185.01		0.41
185	1185.01		0.41
186	1185.01		0.41
187	1185.01		0.41
188	1185.01		0.41
189	1185.01		0.41
190	1185.01		0.41
191	1185.01		0.41
192	1185.01		0.41
193	1185.01		0.41
194	1185.01		0.41
195	1185.01		0.41
196	1185.01		0.41
197	1185.01		0.41
198	1185.01		0.41
199	1185.01		0.41
200	1185.01		0.41

Lot #	Tract #	Subdiv	Area
201	1185.01		0.41
202	1185.01		0.41
203	1185.01		0.41
204	1185.01		0.41
205	1185.01		0.41
206	1185.01		0.41
207	1185.01		0.41
208	1185.01		0.41
209	1185.01		0.41
210	1185.01		0.41
211	1185.01		0.41
212	1185.01		0.41
213	1185.01		0.41
214	1185.01		0.41
215	1185.01		0.41
216	1185.01		0.41
217	1185.01		0.41
218	1185.01		0.41
219	1185.01		0.41
220	1185.01		0.41
221	1185.01		0.41
222	1185.01		0.41
223	1185.01		0.41
224	1185.01		0.41
225	1185.01		0.41
226	1185.01		0.41
227	1185.01		0.41
228	1185.01		0.41
229	1185.01		0.41
230	1185.01		0.41
231	1185.01		0.41
232	1185.01		0.41
233	1185.01		0.41
234	1185.01		0.41
235	1185.01		0.41
236	1185.01		0.41
237	1185.01		0.41
238	1185.01		0.41
239	1185.01		0.41
240	1185.01		0.41



No.	Date	Description

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1822 US HWY 90 S. SUITE 201
 LAKELAND, FL 33601
 PHONE: (850) 849-9979
 Certificate of Authorization #30194
 www.GADD-CA.com

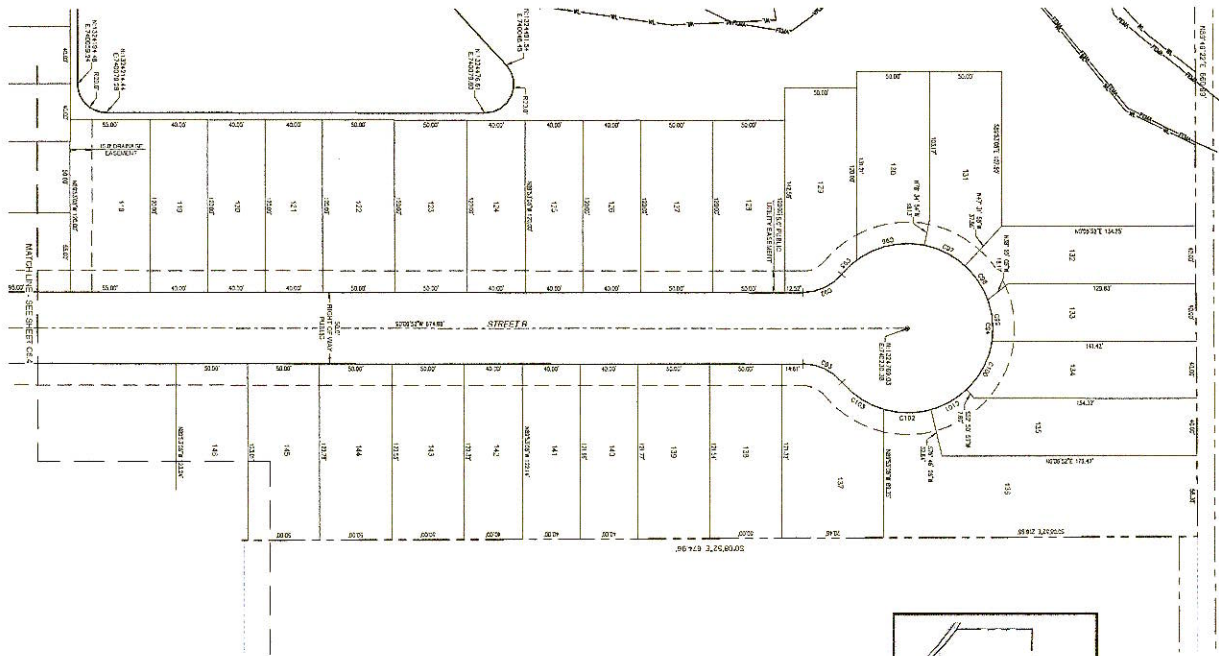
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GENERAL LOT LAYOUT PLAN

811
 Knapik and
 Callahan P.A.C.
 PROJECT # 1185.01

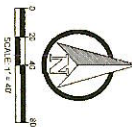
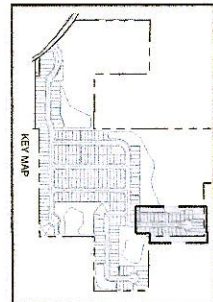
DATE: _____
 PROJECT # 1185.01

FOR CONSTRUCTION:
 CHAIRMAN/OWNER

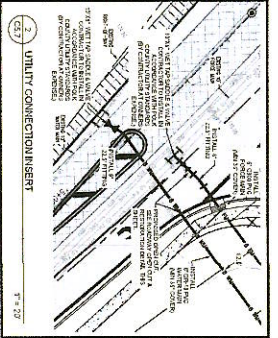
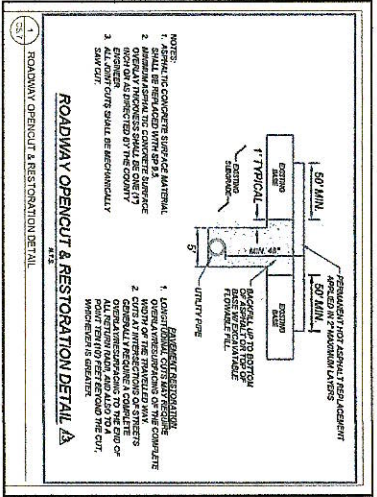
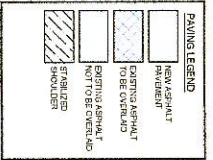
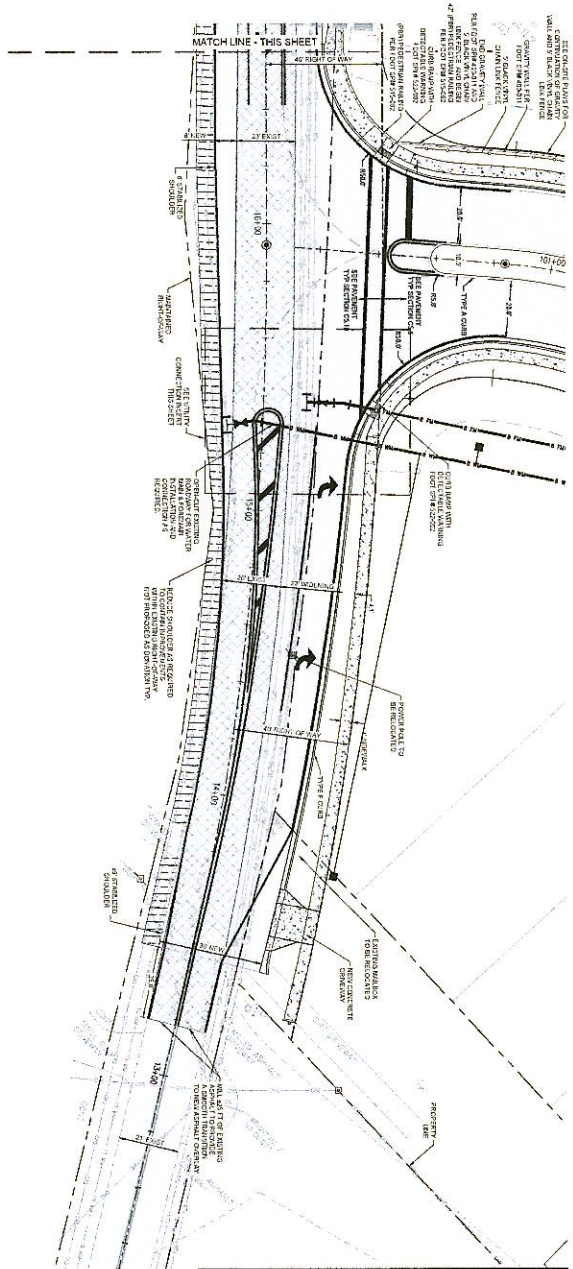
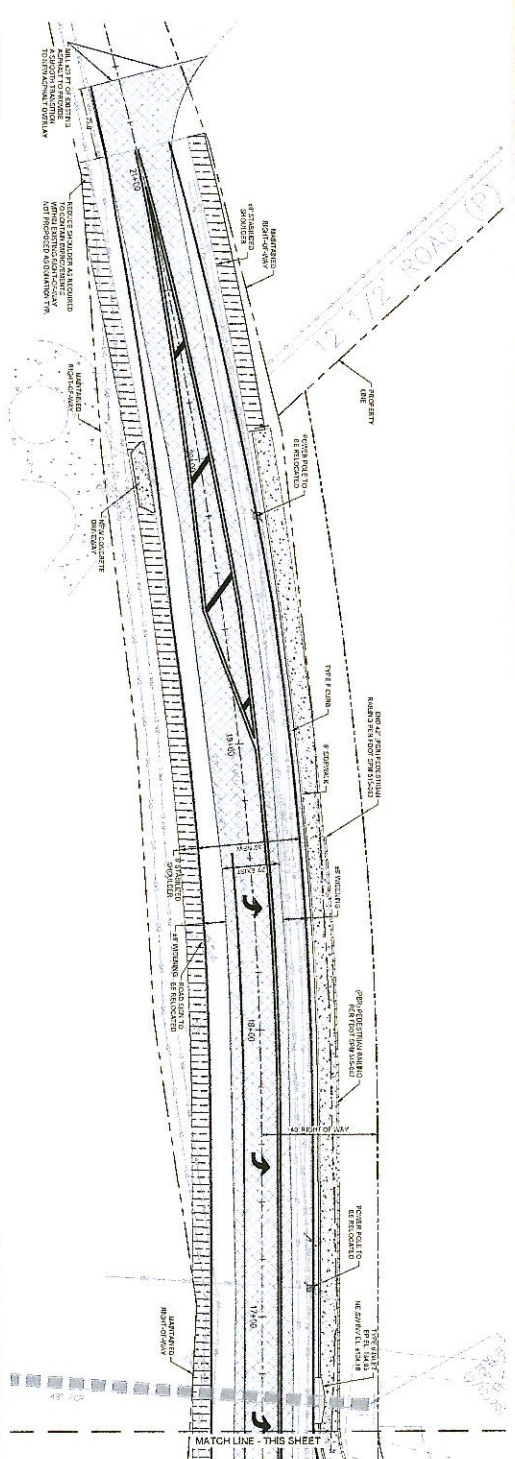
FOR RECORD:
 DATE: 4/23/21
 BY: GAD
 CHECKED BY: GAD
 APPROVED BY: GAD



Lot No.	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
129	10,000	10,000	10,000
130	10,000	10,000	10,000
131	10,000	10,000	10,000
132	10,000	10,000	10,000
133	10,000	10,000	10,000
134	10,000	10,000	10,000
135	10,000	10,000	10,000
136	10,000	10,000	10,000
137	10,000	10,000	10,000
138	10,000	10,000	10,000
139	10,000	10,000	10,000
140	10,000	10,000	10,000
141	10,000	10,000	10,000
142	10,000	10,000	10,000
143	10,000	10,000	10,000
144	10,000	10,000	10,000
145	10,000	10,000	10,000
146	10,000	10,000	10,000
147	10,000	10,000	10,000
148	10,000	10,000	10,000
149	10,000	10,000	10,000
150	10,000	10,000	10,000
151	10,000	10,000	10,000
152	10,000	10,000	10,000
153	10,000	10,000	10,000
154	10,000	10,000	10,000
155	10,000	10,000	10,000



<p>THOUSAND OAKS SUBDIVISION</p> <p>1066 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33639</p> <p>GENERAL LOT LAYOUT PLAN</p>	<p>GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING</p> <p>1125 US HWY 28 & SUITE 201 LAKE LAKE, FL 33801 PHONE: 863-940-5975 Certificate of Authorization #30164 www.gaddva.com</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION										<p>DESIGNER: JLS CHECKED: JLS DATE: 4/28/21 PROJECT #: 1185-01 SCALE: AS SHOWN DATE PLOTTED: 4/29/21 PLotted by: JLS</p>
NO.	DATE	DESCRIPTION													
<p>NOT FOR CONSTRUCTION FOR REVIEW ONLY</p>	<p>PROJECT #: 1185-01</p>	<p>DATE: 4/28/21</p>	<p>PROJECT #: 1185-01</p>												



NO.	DATE	BY	CHKD	REVISIONS

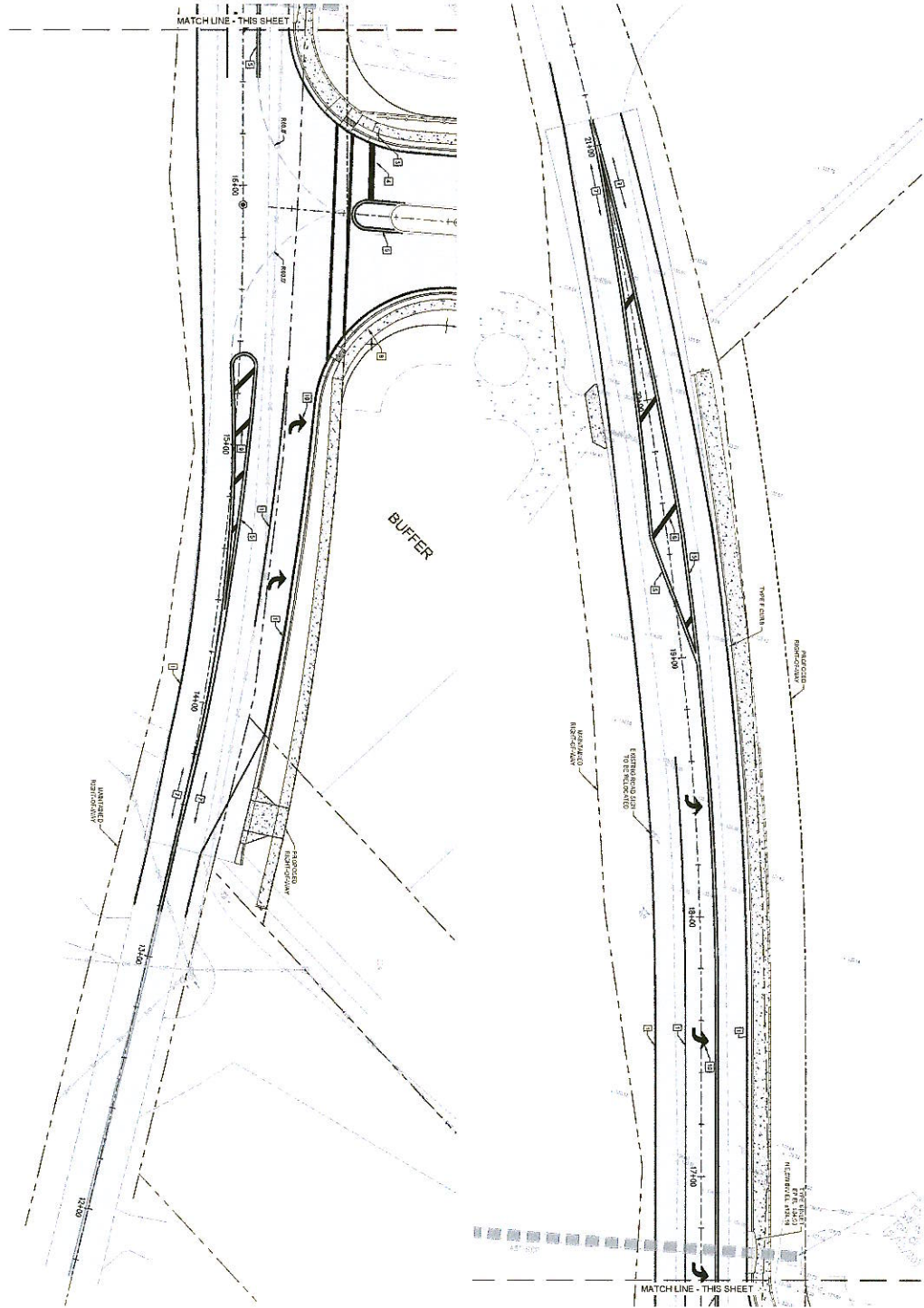
GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1825 US HWY 98 S. SUITE 201
 LAKE WORTH, FL 33454
 PHONE: (888) 843-0079
 Certificate of Authorization #20104
 www.GaddCA.com

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
EAGLE LAKE LOOP RD WIDENING PLAN

NO.	DATE	BY	CHKD	REVISIONS

NOT FOR CONSTRUCTION
 FOR REVIEW ONLY

DESIGNED BY: JLS
 DRAWN BY: JLS
 CHECKED BY: JLS
 PROJECT NO: 1185-01
 SHEET NO: C5.7



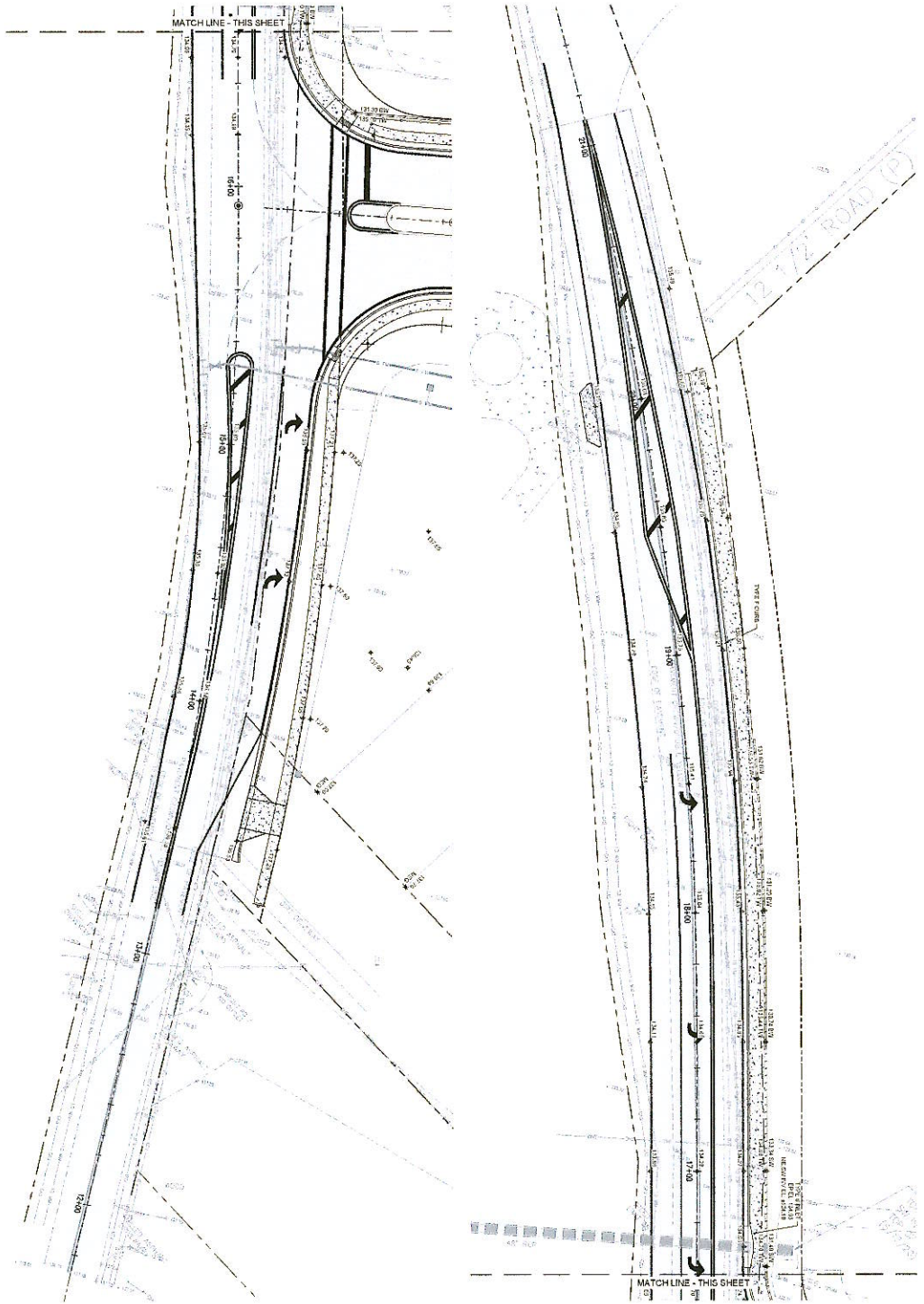
SHEET NOTES

- 1) INSTALL 2\"/>
- 2) INSTALL 1\"/>
- 3) INSTALL 1\"/>
- 4) INSTALL 1\"/>
- 5) INSTALL 1\"/>
- 6) INSTALL 1\"/>
- 7) INSTALL 1\"/>
- 8) INSTALL 1\"/>
- 9) INSTALL 1\"/>
- 10) INSTALL 1\"/>
- 11) INSTALL 1\"/>
- 12) INSTALL 1\"/>
- 13) INSTALL 1\"/>
- 14) INSTALL 1\"/>
- 15) INSTALL 1\"/>
- 16) INSTALL 1\"/>
- 17) INSTALL 1\"/>
- 18) INSTALL 1\"/>
- 19) INSTALL 1\"/>
- 20) INSTALL 1\"/>
- 21) INSTALL 1\"/>
- 22) INSTALL 1\"/>
- 23) INSTALL 1\"/>
- 24) INSTALL 1\"/>
- 25) INSTALL 1\"/>
- 26) INSTALL 1\"/>
- 27) INSTALL 1\"/>
- 28) INSTALL 1\"/>
- 29) INSTALL 1\"/>
- 30) INSTALL 1\"/>
- 31) INSTALL 1\"/>
- 32) INSTALL 1\"/>
- 33) INSTALL 1\"/>
- 34) INSTALL 1\"/>
- 35) INSTALL 1\"/>
- 36) INSTALL 1\"/>
- 37) INSTALL 1\"/>
- 38) INSTALL 1\"/>
- 39) INSTALL 1\"/>
- 40) INSTALL 1\"/>
- 41) INSTALL 1\"/>
- 42) INSTALL 1\"/>
- 43) INSTALL 1\"/>
- 44) INSTALL 1\"/>
- 45) INSTALL 1\"/>
- 46) INSTALL 1\"/>
- 47) INSTALL 1\"/>
- 48) INSTALL 1\"/>
- 49) INSTALL 1\"/>
- 50) INSTALL 1\"/>
- 51) INSTALL 1\"/>
- 52) INSTALL 1\"/>
- 53) INSTALL 1\"/>
- 54) INSTALL 1\"/>
- 55) INSTALL 1\"/>
- 56) INSTALL 1\"/>
- 57) INSTALL 1\"/>
- 58) INSTALL 1\"/>
- 59) INSTALL 1\"/>
- 60) INSTALL 1\"/>
- 61) INSTALL 1\"/>
- 62) INSTALL 1\"/>
- 63) INSTALL 1\"/>
- 64) INSTALL 1\"/>
- 65) INSTALL 1\"/>
- 66) INSTALL 1\"/>
- 67) INSTALL 1\"/>
- 68) INSTALL 1\"/>
- 69) INSTALL 1\"/>
- 70) INSTALL 1\"/>
- 71) INSTALL 1\"/>
- 72) INSTALL 1\"/>
- 73) INSTALL 1\"/>
- 74) INSTALL 1\"/>
- 75) INSTALL 1\"/>
- 76) INSTALL 1\"/>
- 77) INSTALL 1\"/>
- 78) INSTALL 1\"/>
- 79) INSTALL 1\"/>
- 80) INSTALL 1\"/>
- 81) INSTALL 1\"/>
- 82) INSTALL 1\"/>
- 83) INSTALL 1\"/>
- 84) INSTALL 1\"/>
- 85) INSTALL 1\"/>
- 86) INSTALL 1\"/>
- 87) INSTALL 1\"/>
- 88) INSTALL 1\"/>
- 89) INSTALL 1\"/>
- 90) INSTALL 1\"/>
- 91) INSTALL 1\"/>
- 92) INSTALL 1\"/>
- 93) INSTALL 1\"/>
- 94) INSTALL 1\"/>
- 95) INSTALL 1\"/>
- 96) INSTALL 1\"/>
- 97) INSTALL 1\"/>
- 98) INSTALL 1\"/>
- 99) INSTALL 1\"/>
- 100) INSTALL 1\"/>

ALL DRAWINGS UNLESS OTHERWISE NOTED SHALL COMPLY WITH THE LATEST EDITIONS OF THE AASHTO ROAD & BUILT ENVIRONMENT DESIGN GUIDE FOR ROADWAY DESIGN.



<p>PROJECT FOR THOUSAND OAKS SUBDIVISION</p> <p>1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839</p> <p>EAGLE LAKE LOOP RD MARKING PLAN</p>	<p>DESIGNED BY GADD & ASSOCIATES</p> <p>CHECKED BY GADD & ASSOCIATES</p> <p>DATE 4/29/21</p> <p>PROJECT NO. 1165.G1</p> <p>SCALE AS SHOWN</p> <p>NOT FOR CONSTRUCTION FOR REVIEW ONLY</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION										<p>811 Knowledge Builders Call Center for you. eg</p>	<p>GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING</p> <p>1025 US HWY 98 S SUITE 201 LAKELAND, FL 33501 PHONE: (652) 942-9279 Certificate of Authorization #30164 www.gaddca.com</p>	<p>PROJECT # 1165.G1</p> <p>DATE 4/29/21</p> <p>PROJECT NO. 1165.G1</p> <p>SCALE AS SHOWN</p> <p>NOT FOR CONSTRUCTION FOR REVIEW ONLY</p>
NO.	DATE	DESCRIPTION															



PROJECT # 1185.01
C5.9
 DATE

REVISIONS
 1. 05/11/21
 2. 05/11/21

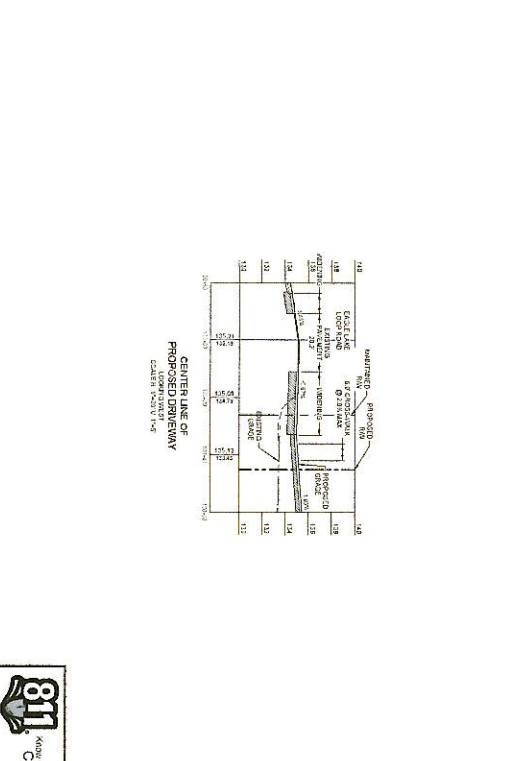
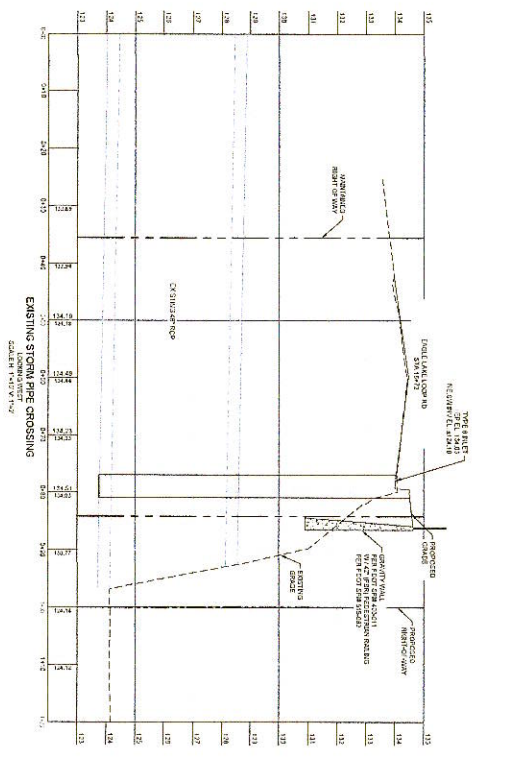
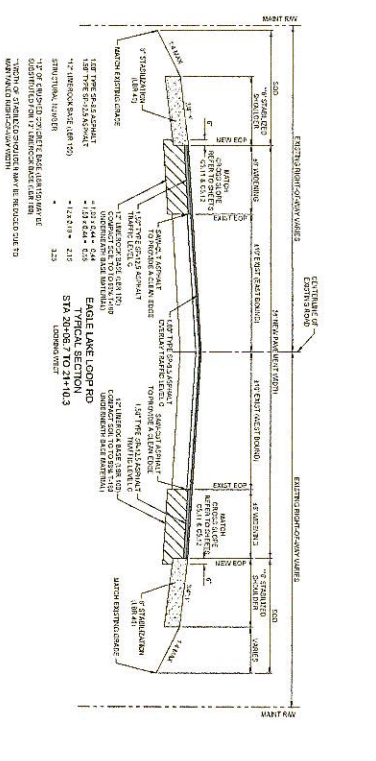
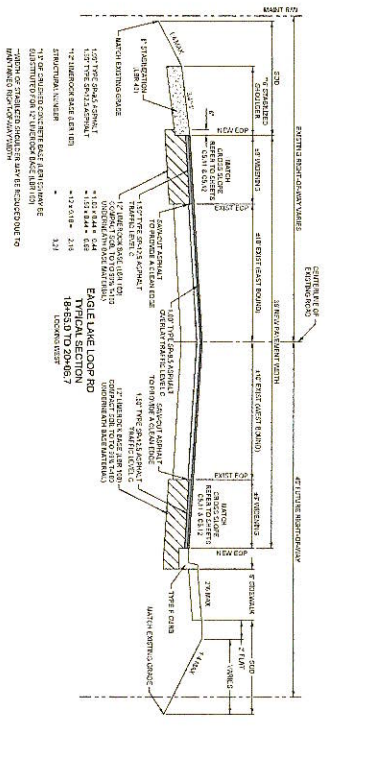
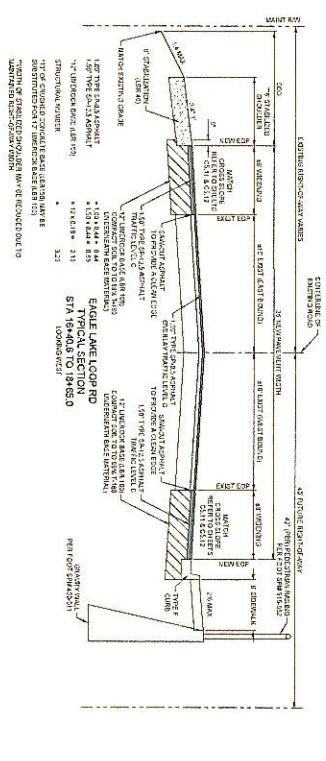
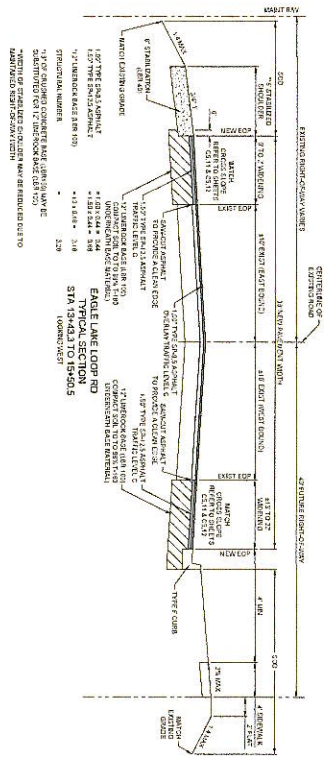
NOT FOR CONSTRUCTION
 / CONTRACT ONLY

REVISION	DATE	BY	CHKD
1	05/11/21		
2	05/11/21		

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
EAGLE LAKE LOOP RD GRADING PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1925 US HWY 98 S, SUITE 201
 LANDLAK, FL 33509
 PHONE (863) 952-9970
 Certificate of Authorization #30164
 www.GADDcivil.com

NO.	DATE	BY	CHKD	DESCRIPTION



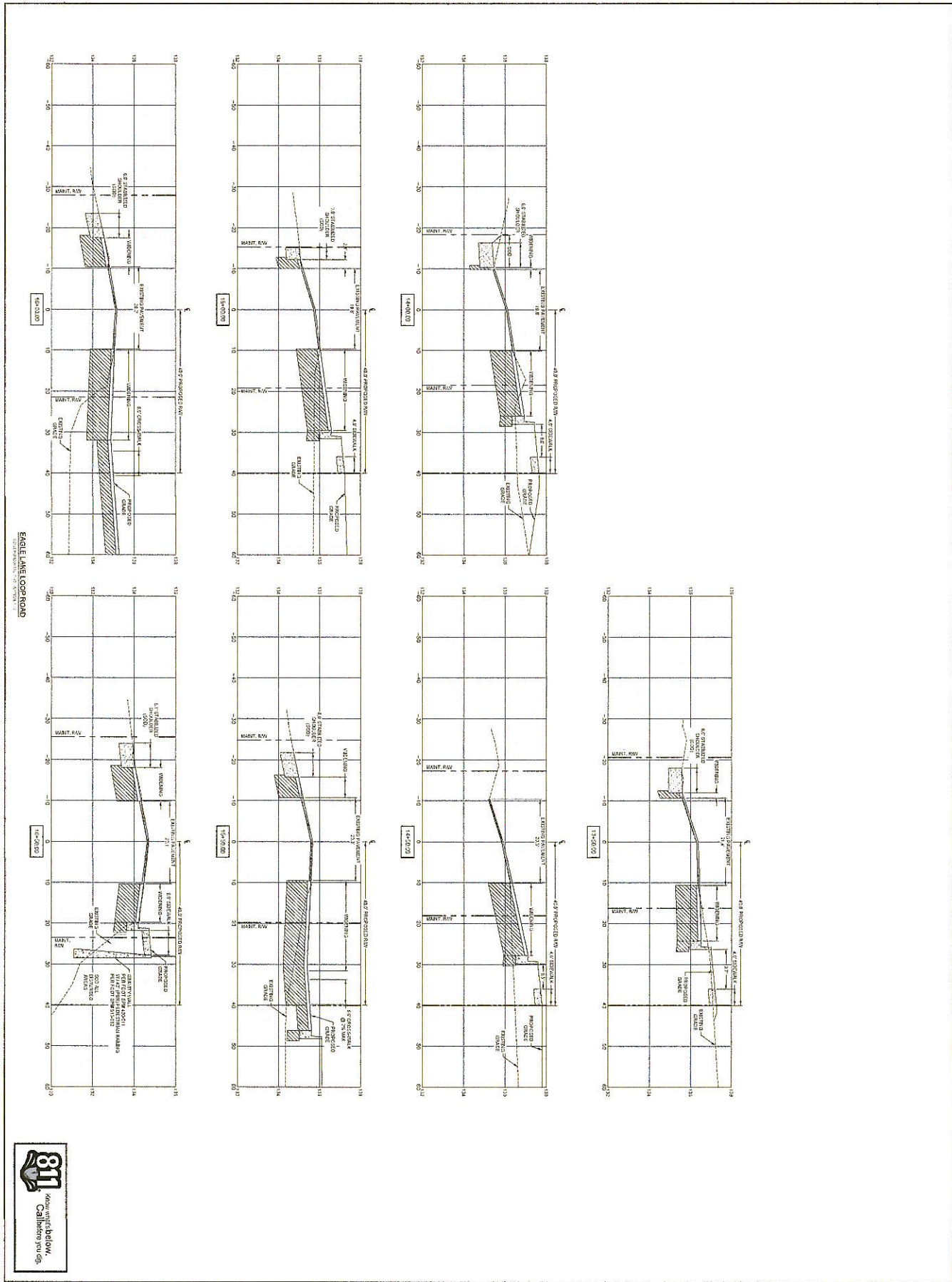
REVISIONS	
NO.	DATE

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 10225 US HWY 90 S, SUITE 231
 LAKELAND, FL 33505
 PHONE (863) 249-2979
 Certificate of Authorization #20194
 www.GADD&A.com

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
EAGLE LAKE LOOP RD TYPICAL SECTIONS

DESIGNED BY: JAC/STP
 DRAWN BY: JAC/STP
 CHECKED BY: JAC/STP
 IN CHARGE: JAC/STP
 DATE: 04/28/21
CS.10
 PROJECT # 1185-01

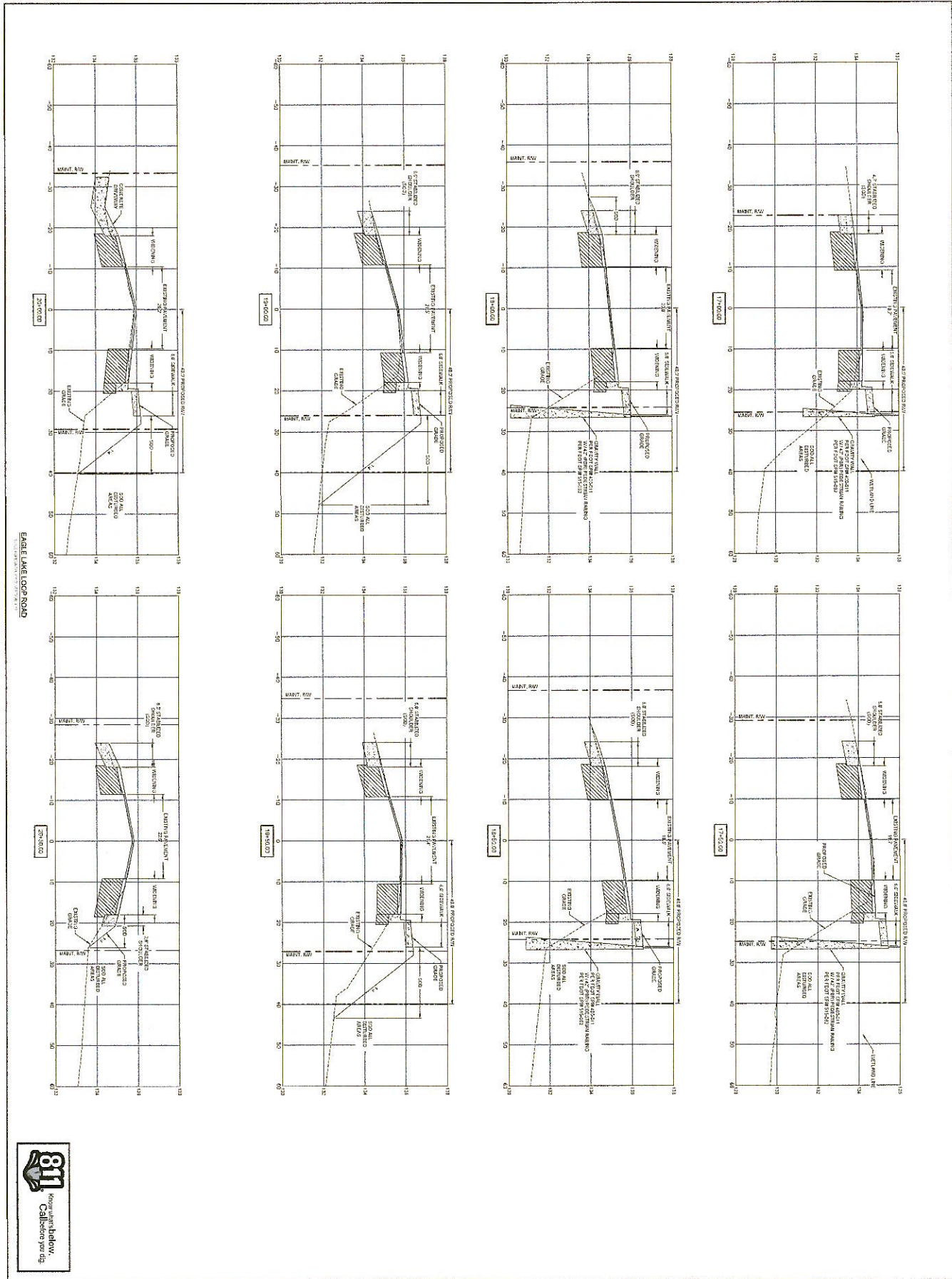




EAGLE LAKE LOOP ROAD
 SUBDIVISION OF CENTER STATE



<p>PROJECT #1165-01</p> <p>C5.11</p> <p>DATE</p> <p>DESIGNED BY: K. GADD</p> <p>CHECKED BY: K. GADD</p> <p>DATE: 04/29/11</p>	<p>THOUSAND OAKS SUBDIVISION</p> <p>1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839</p> <p>EAGLE LAKE LOOP RD CROSS-SECTIONS</p>	<p>GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING</p> <p>1022 US HWY 98 S. SUITE 201 LAKELAND, FL 33609 PHONE: (888) 943-9979 Certificate of Authorization #32164 www.GaddCA.com</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION										



EAGLE LAKE LOOP ROAD

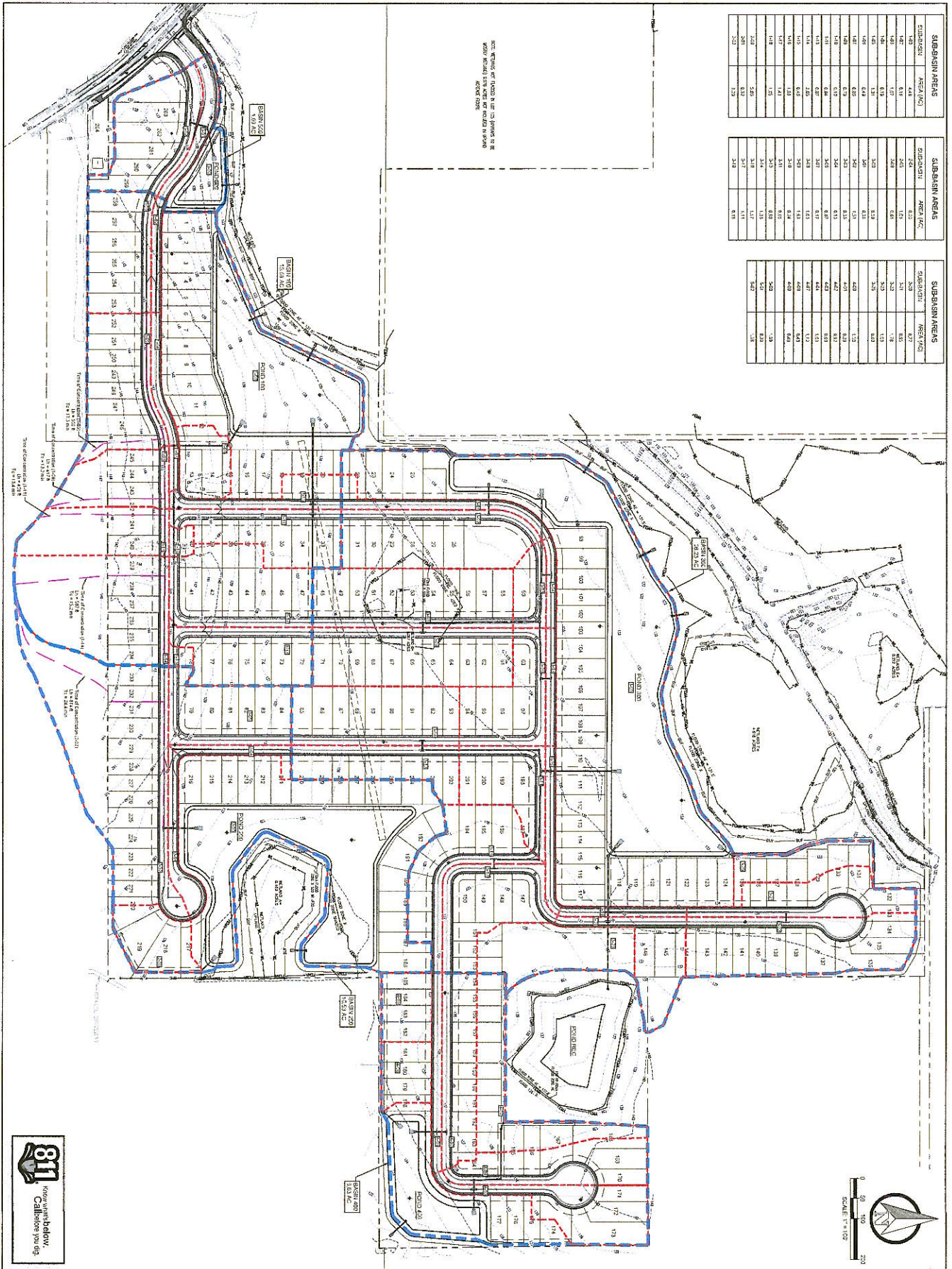


PROJECT # 1185-01	C6.12
DATE	
DESIGNED BY	
CHECKED BY	
DATE	
SCALE	
NOT FOR CONSTRUCTION	
FOR REVIEW ONLY	

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
EAGLE LAKE LOOP RD CROSS-SECTIONS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1000 US HIGHWAY 90 S. SUITE 201
 LAKELAND, FL 33809
 PHONE (813) 840-9579
 Certificate of Authorization #32164
 www.GaddCA.com

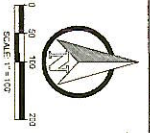
REVISIONS	
NO.	DESCRIPTION



SUBBASIN AREAS	AREA (AC)
156	4.94
157	5.27
158	4.00
159	4.17
160	6.28
161	6.28
162	4.24
163	4.24
164	4.24
165	4.24
166	4.24
167	4.24
168	4.24
169	4.24
170	4.24
171	4.24
172	4.24
173	4.24
174	4.24
175	4.24
176	4.24
177	4.24
178	4.24
179	4.24
180	4.24
181	4.24
182	4.24
183	4.24
184	4.24
185	4.24
186	4.24
187	4.24
188	4.24
189	4.24
190	4.24
191	4.24
192	4.24
193	4.24
194	4.24
195	4.24
196	4.24
197	4.24
198	4.24
199	4.24
200	4.24
201	4.24
202	4.24
203	4.24

SUBBASIN AREAS	AREA (AC)
204	4.24
205	4.24
206	4.24
207	4.24
208	4.24
209	4.24
210	4.24
211	4.24
212	4.24
213	4.24
214	4.24
215	4.24
216	4.24
217	4.24
218	4.24
219	4.24
220	4.24
221	4.24
222	4.24
223	4.24
224	4.24
225	4.24
226	4.24
227	4.24
228	4.24
229	4.24
230	4.24
231	4.24
232	4.24
233	4.24
234	4.24
235	4.24
236	4.24
237	4.24
238	4.24
239	4.24
240	4.24
241	4.24
242	4.24
243	4.24
244	4.24
245	4.24
246	4.24
247	4.24
248	4.24
249	4.24
250	4.24
251	4.24
252	4.24
253	4.24
254	4.24
255	4.24
256	4.24
257	4.24
258	4.24
259	4.24
260	4.24
261	4.24
262	4.24
263	4.24
264	4.24
265	4.24
266	4.24
267	4.24
268	4.24
269	4.24
270	4.24
271	4.24
272	4.24
273	4.24
274	4.24
275	4.24
276	4.24
277	4.24
278	4.24
279	4.24
280	4.24
281	4.24
282	4.24
283	4.24
284	4.24
285	4.24
286	4.24
287	4.24
288	4.24
289	4.24
290	4.24
291	4.24
292	4.24
293	4.24
294	4.24
295	4.24
296	4.24
297	4.24
298	4.24
299	4.24
300	4.24

SUBBASIN AREAS	AREA (AC)
301	4.24
302	4.24
303	4.24
304	4.24
305	4.24
306	4.24
307	4.24
308	4.24
309	4.24
310	4.24
311	4.24
312	4.24
313	4.24
314	4.24
315	4.24
316	4.24
317	4.24
318	4.24
319	4.24
320	4.24
321	4.24
322	4.24
323	4.24
324	4.24
325	4.24
326	4.24
327	4.24
328	4.24
329	4.24
330	4.24
331	4.24
332	4.24
333	4.24
334	4.24
335	4.24
336	4.24
337	4.24
338	4.24
339	4.24
340	4.24
341	4.24
342	4.24
343	4.24
344	4.24
345	4.24
346	4.24
347	4.24
348	4.24
349	4.24
350	4.24
351	4.24
352	4.24
353	4.24
354	4.24
355	4.24
356	4.24
357	4.24
358	4.24
359	4.24
360	4.24
361	4.24
362	4.24
363	4.24
364	4.24
365	4.24
366	4.24
367	4.24
368	4.24
369	4.24
370	4.24
371	4.24
372	4.24
373	4.24
374	4.24
375	4.24
376	4.24
377	4.24
378	4.24
379	4.24
380	4.24
381	4.24
382	4.24
383	4.24
384	4.24
385	4.24
386	4.24
387	4.24
388	4.24
389	4.24
390	4.24
391	4.24
392	4.24
393	4.24
394	4.24
395	4.24
396	4.24
397	4.24
398	4.24
399	4.24
400	4.24



REVISIONS

NO.	DATE	DESCRIPTION

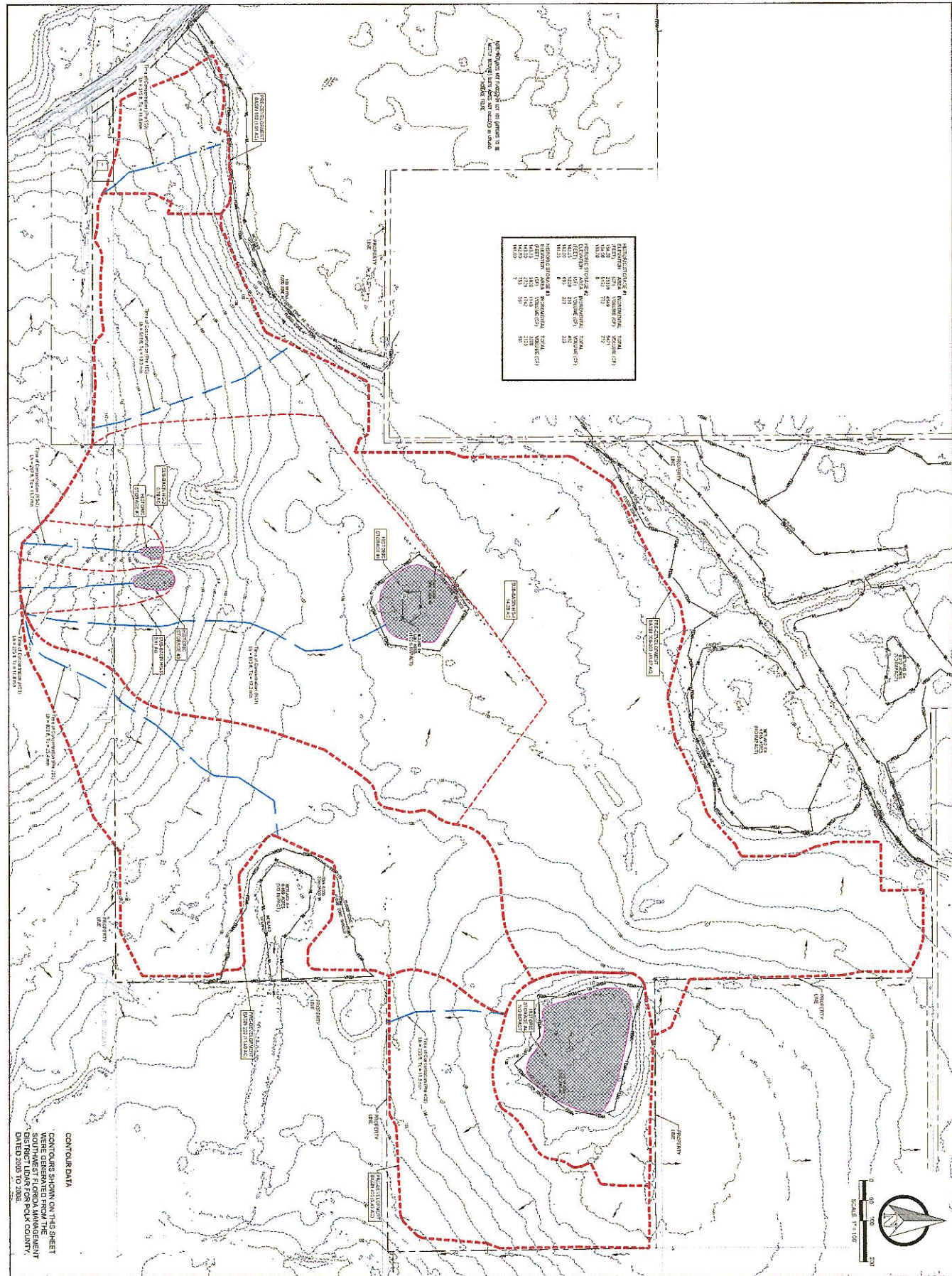
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839

OVERALL GRADING & DRAINAGE PLAN

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 IN CHARGE: _____

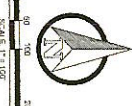
GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1523 US HWY 88 S. SUITE 201
 LAKELAND, FL 33801
 PHONE: (850) 950-9973
 Certificate of Authorization #20164
 www.GaddCvA.com

PROJECT # 1185-01
 DATE: _____
 SCALE: _____



HYDROLOGIC DATA	
AREA	428.0
PERCENT PAVED	1.0
PERCENT IMPERVIOUS	35.0
TOTAL AREA	433.0
ROOF AREA	153.6
PAVED AREA	4.3
IMPERVIOUS AREA	153.7
PERCENT IMPERVIOUS	35.5
PERCENT PAVED	1.0
TOTAL AREA	433.0

CONTIGUOUS DATA
CONTOURS SHOWN ON THIS SHEET
WERE OBTAINED FROM THE
DISTRICT ENGINEER'S RECORD DRAWING
DATED 2/20/99 TO 2/20/99.



PROJECT # 1185-01
C6.0A

DATE
DRAWN BY: R.S.
CHECKED BY: R.S.
DATE: 4/20/01

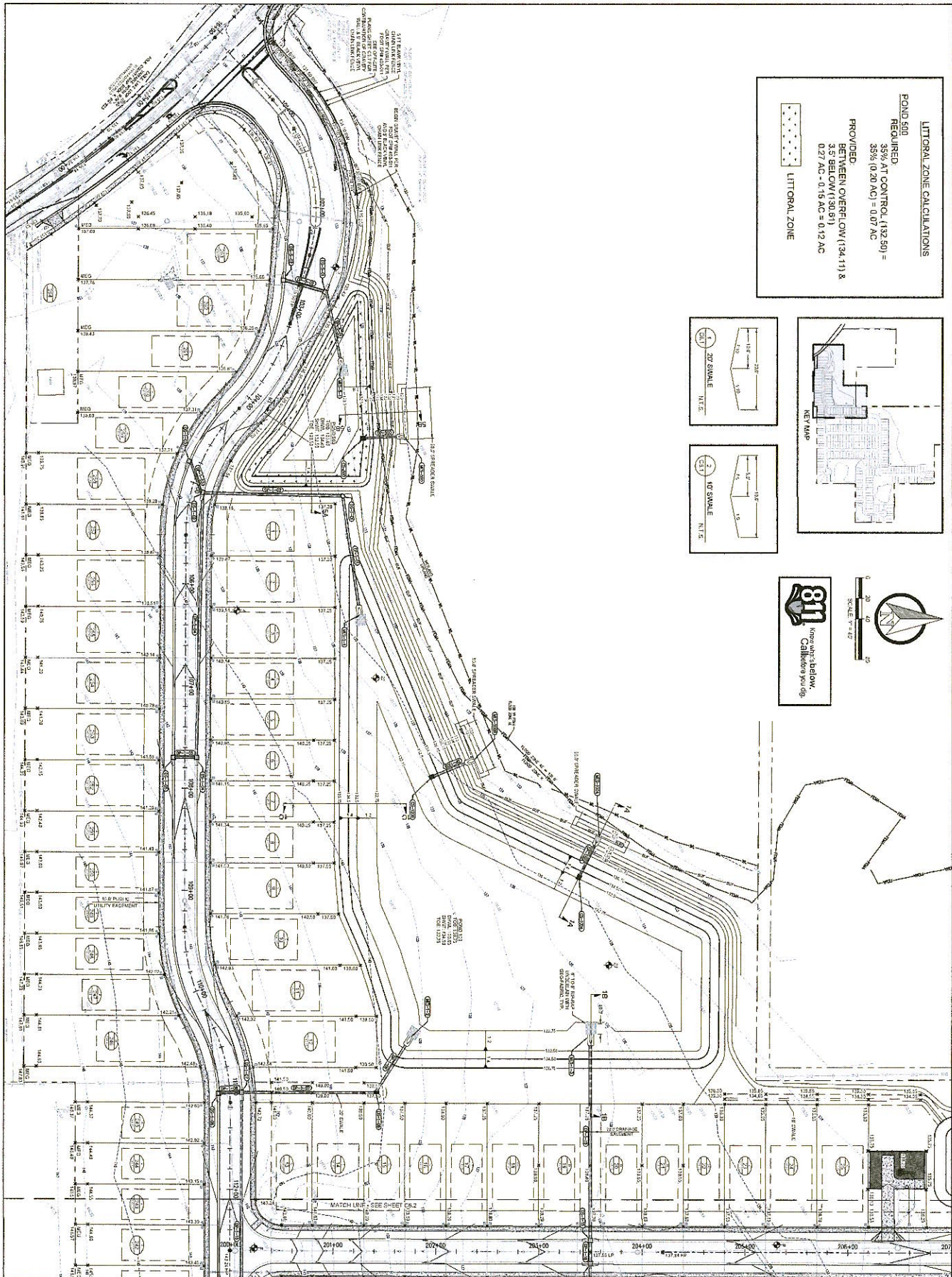
NOT FOR CONSTRUCTION
FOR REVIEW ONLY

THOUSAND OAKS SUBDIVISION
1065 EAGLE LAKE LOOP ROAD
EAGLE LAKE, FL 32839
PRE-DEVELOPMENT BASIN MAP

GADD & ASSOCIATES
CIVIL ENGINEERING & CONSULTING
1622 US HWY 88 S, SUITE 201
LAKELAND, FL 33801
PHONE: (888) 840-9973
Certificate of Authorization #03104
www.GaddCA.com

NO.	DATE	DESCRIPTION

REVISIONS




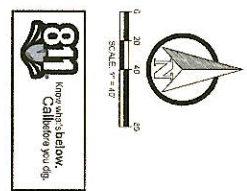
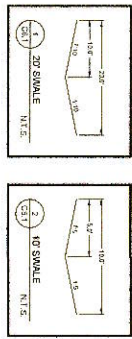
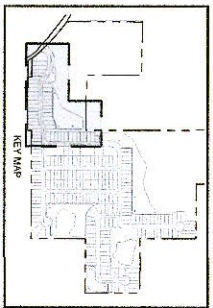
LITTORAL ZONE CALCULATIONS

POUND 500

REQUIRED
 35% AT CONTROL (192.50) =
 35% (0.20 AC) = 0.07 AC

PROVIDED
 BETWEEN OVERFLOW (134.11) &
 3.5' BELOW (130.61)
 0.27 AC - 0.15 AC = 0.12 AC

 LITTORAL ZONE



NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY

PROJECT: C6.1
 DATE: _____
 PROJECT: C6.1
 E.L.A. P.E. NO. 70975

THOUSAND OAKS SUBDIVISION

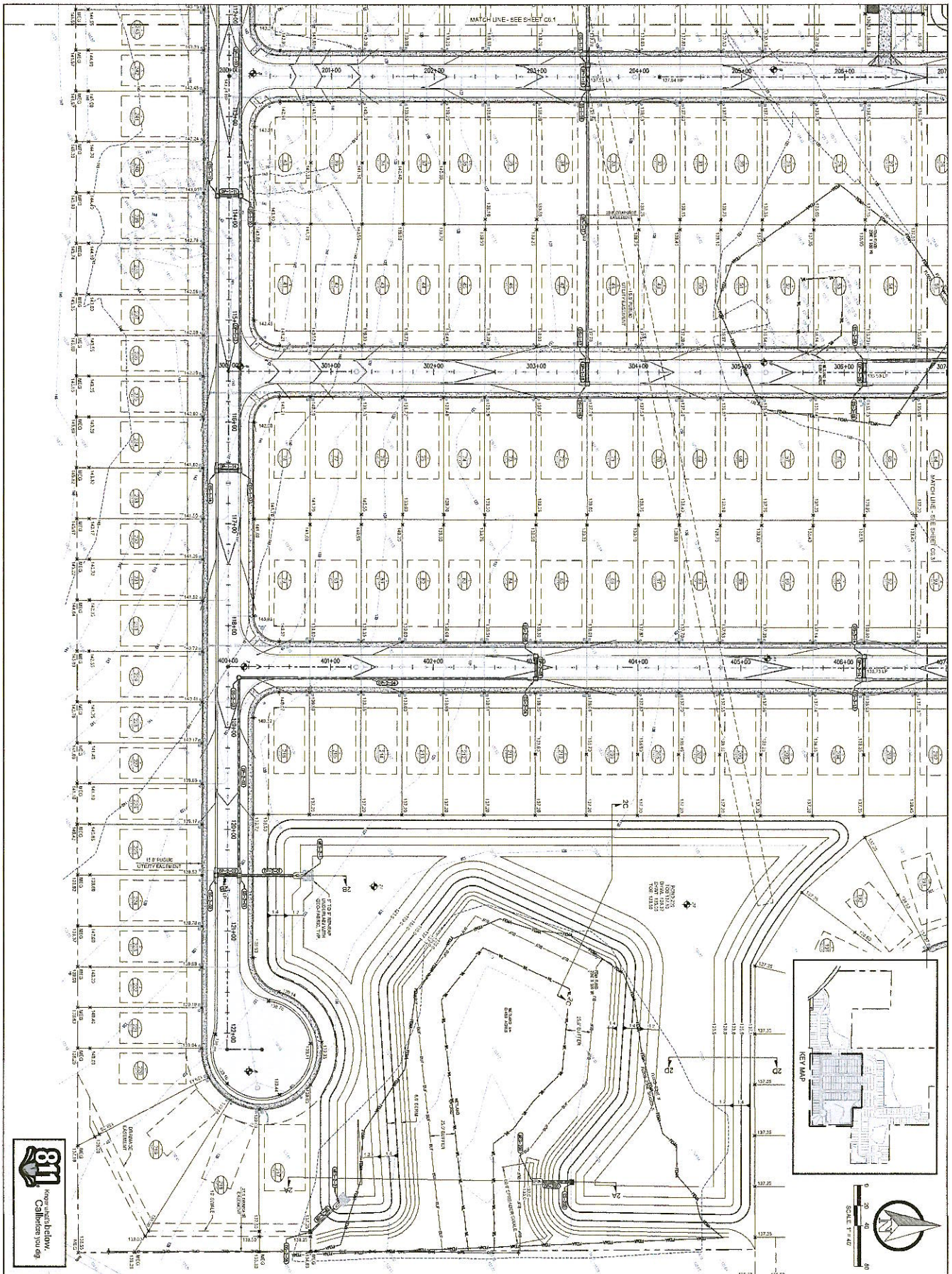
1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839

GRADING & DRAINAGE PLAN



GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1925 US HWY 98 S. SUITE 201
 LAKELAND, FL 33501
 PHONE: (863) 640-9979
 Certificate of Authorization #2010-4
 www.GADD&C.com

REVISIONS	

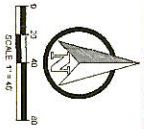
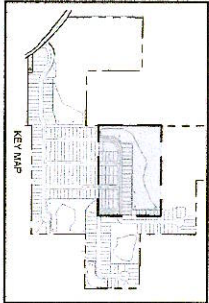
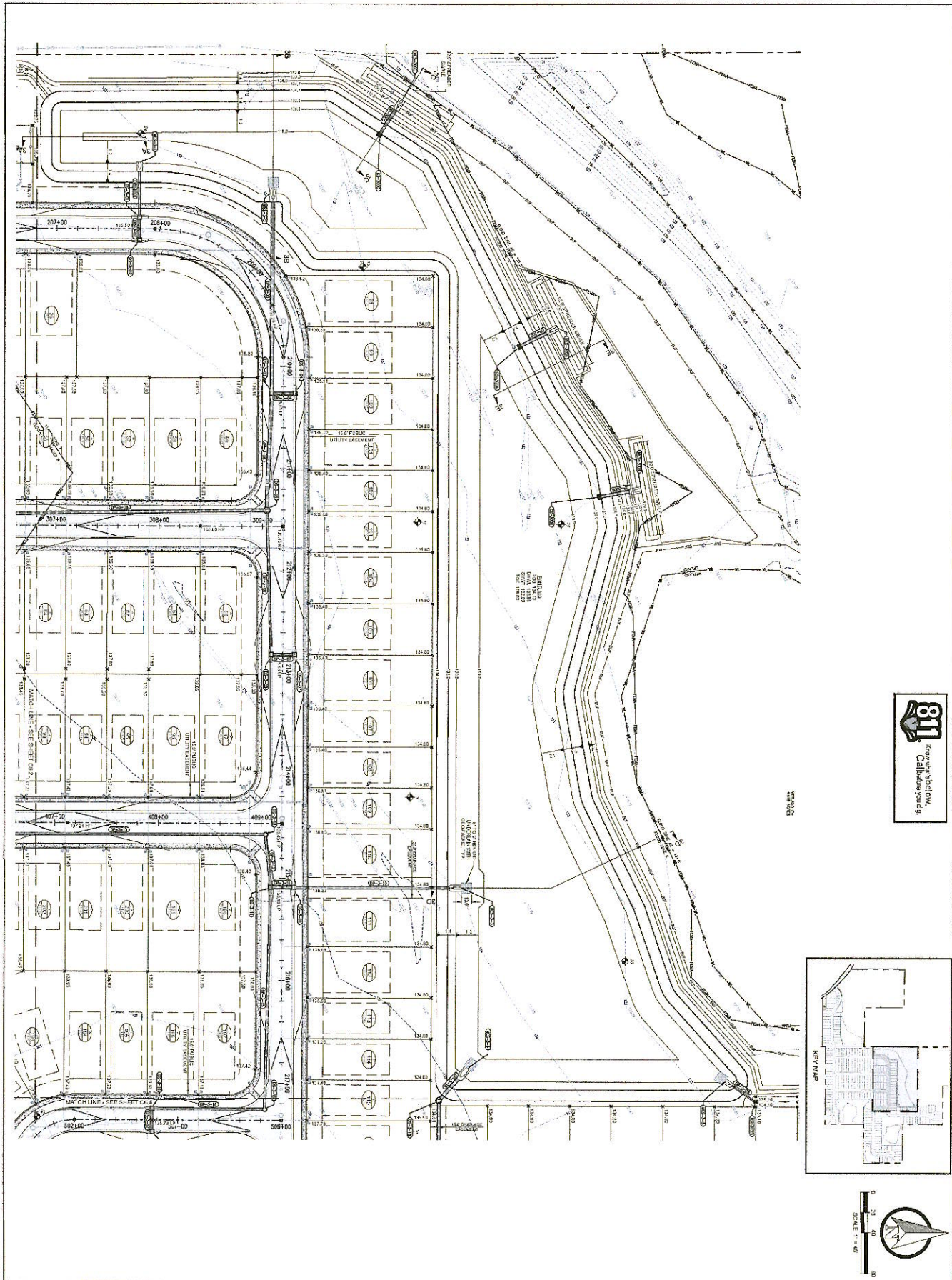


PROJECT #	1183.01
DATE	4/23/21
DESIGNED BY	JLS
CHECKED BY	NO
PROJECT #	C6.2
PROJECT NAME	THOUSAND OAKS SUBDIVISION
PROJECT ADDRESS	1065 EAGLE LAKE LOOP ROAD, EAGLE LAKE, FL 33839

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GRADING & DRAINAGE PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1322 US HWY 98 S, SUITE 201
 LAKELAND, FL 33851
 PHONE (813) 840-0970
 Certificate of Authorization #301614
 www.GADD-CA.com

REVISIONS	
NO.	DESCRIPTION

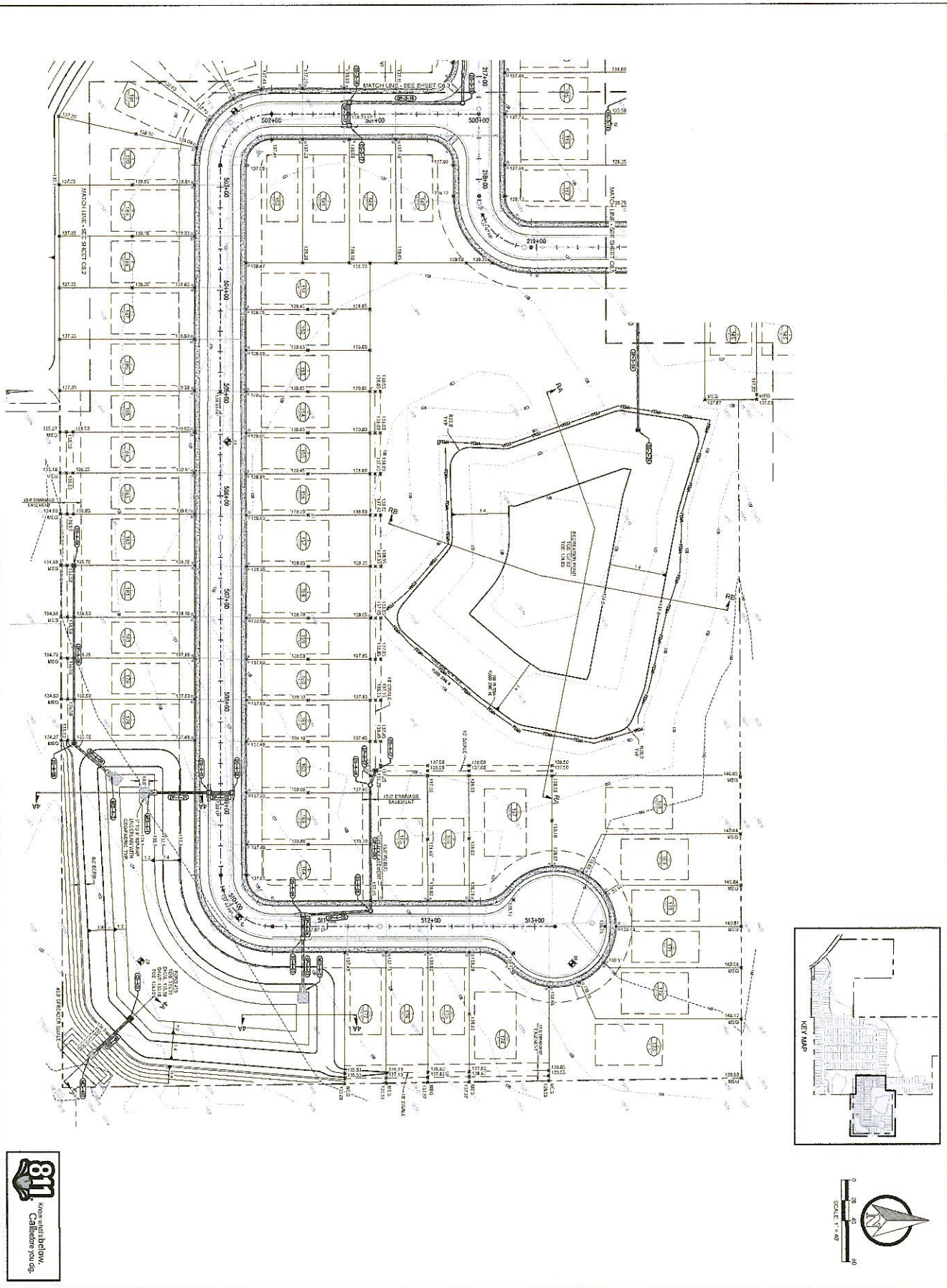


PROJECT #	1185-01
DATE	06.3
DESIGNED BY	JAMES S. JOHNSON
CHECKED BY	JAMES S. JOHNSON
DATE	06.3
PROJECT	THOUSAND OAKS SUBDIVISION
NOT FOR CONSTRUCTION	
FOR INFORMATION ONLY	

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GRADING & DRAINAGE PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1628 US HWY 98 S. SUITE 201
 LANDLAK, FL 33501
 PHONE: (813) 943-9579
 Certificate of Authorization #30184
 www.GADDcivil.com

REVISIONS	
NO.	DESCRIPTION

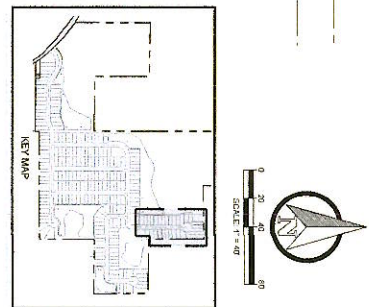
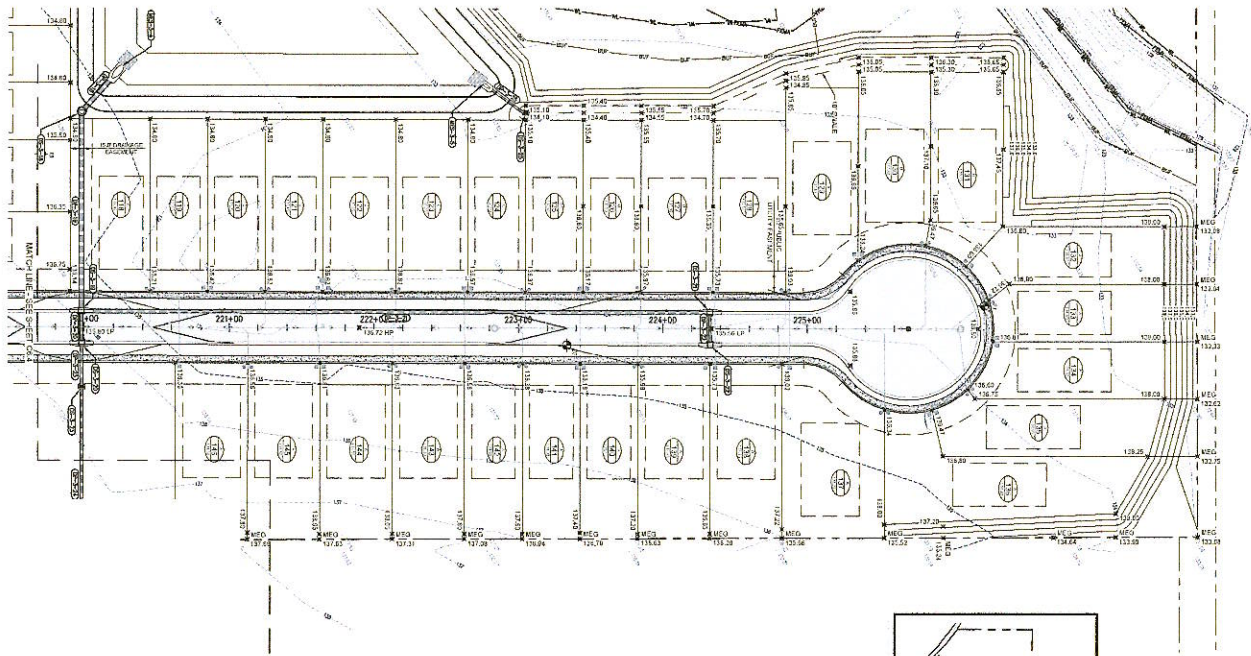


PROJECT #	C6.4
DATE	
DESIGNED BY	ROBERTA GADD P.E.
CHECKED BY	FLA. P.E. No. 7875
DATE	
NOT FOR CONSTRUCTION	
FOR REVIEW ONLY	
ISSUED FOR	
NO. OF SHEETS	42/52
PROJECT NO.	1143.01
DATE	11/11/20
BY	RG
CHECKED BY	RG
DATE	11/11/20
BY	RG

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GRADING & DRAINAGE PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1925 US HWY 28 S, SUITE 201
 LAKELAND, FL 33801
 PHONE: (882) 640-5973
 Certificate of Accreditation #30164
 www.GADDCA.com

NO.	DATE	REVISIONS



PROJECT # 1185-01	DATE
C6.5	
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT MANAGER	DATE

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GRADING & DRAINAGE PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 98 S, SUITE 201
 LAKELAND, FL 33801
 PHONE (888) 944-9279
 Certificate of Authorization #30164
 www.Gadd501.com

NO.	DATE	DESCRIPTION

STRUCTURE #	DESCRIPTION	LOCATION	PIEG #	PIEG DATA	ECONOMY	ADJUST	ADJUST	ADJUST	ADJUST	ADJUST
02400	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02400	100' DIAMETER @ 15' DIA	1000					
02401	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02401	100' DIAMETER @ 15' DIA	1000					
02402	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02402	100' DIAMETER @ 15' DIA	1000					
02403	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02403	100' DIAMETER @ 15' DIA	1000					
02404	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02404	100' DIAMETER @ 15' DIA	1000					
02405	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02405	100' DIAMETER @ 15' DIA	1000					
02406	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02406	100' DIAMETER @ 15' DIA	1000					
02407	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02407	100' DIAMETER @ 15' DIA	1000					
02408	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02408	100' DIAMETER @ 15' DIA	1000					
02409	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02409	100' DIAMETER @ 15' DIA	1000					
02410	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02410	100' DIAMETER @ 15' DIA	1000					

STRUCTURE #	DESCRIPTION	LOCATION	PIEG #	PIEG DATA	ECONOMY	ADJUST	ADJUST	ADJUST	ADJUST	ADJUST
02411	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02411	100' DIAMETER @ 15' DIA	1000					
02412	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02412	100' DIAMETER @ 15' DIA	1000					
02413	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02413	100' DIAMETER @ 15' DIA	1000					
02414	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02414	100' DIAMETER @ 15' DIA	1000					
02415	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02415	100' DIAMETER @ 15' DIA	1000					
02416	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02416	100' DIAMETER @ 15' DIA	1000					
02417	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02417	100' DIAMETER @ 15' DIA	1000					
02418	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02418	100' DIAMETER @ 15' DIA	1000					
02419	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02419	100' DIAMETER @ 15' DIA	1000					
02420	WASTEWATER TREATMENT	SW 1/4 SEC 30, T13N, R18E, S12W	02420	100' DIAMETER @ 15' DIA	1000					



Kopp Engineering, Inc.
 Civil Engineers, Inc.
 10000 N.W. 14th St., Suite 201
 Ft. Lauderdale, FL 33309

DATE: 06.6
 PROJECT # 1185.01

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 32839
 STORM STRUCTURE TABLES

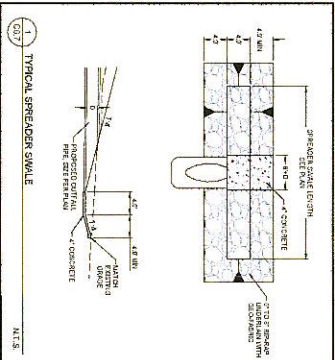
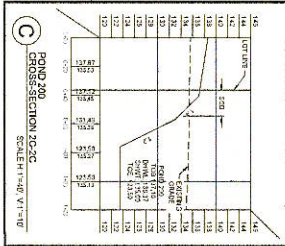
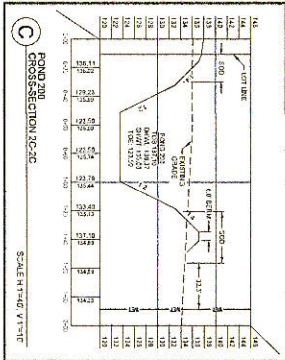
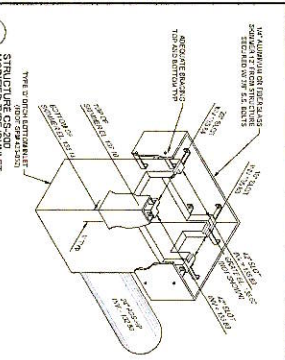
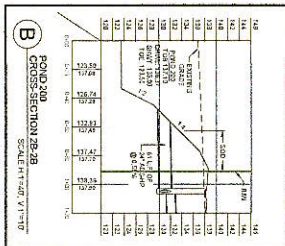
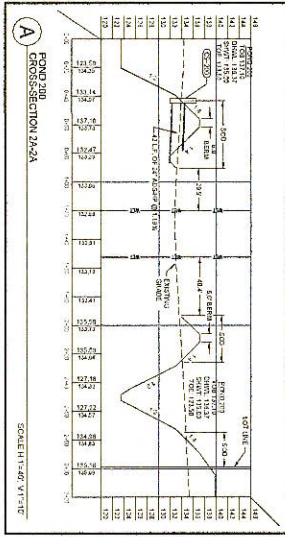
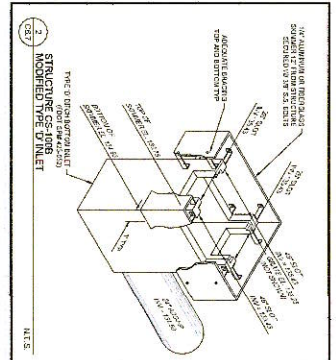
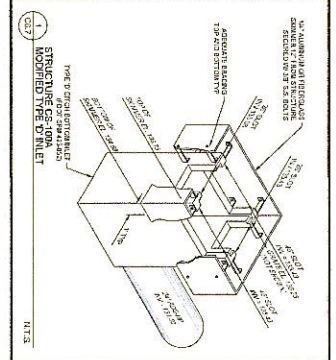
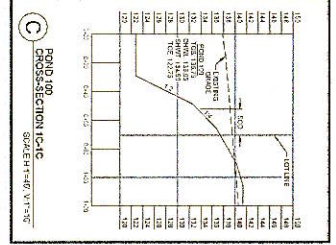
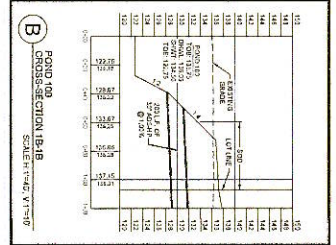
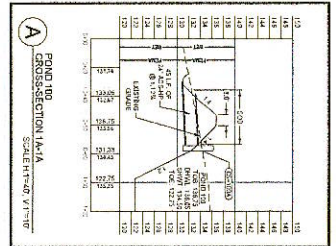


GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 99, SUITE 201
 FT. LAUDERDALE, FL 33304
 PHONE: (954) 833-6579
 OFFICE: (954) 833-6579
 FAX: (954) 833-6579
 www.gadd2.com

NO.	DATE	DESCRIPTION
1	06.6	ISSUED FOR PERMITS
2	06.6	REVISED
3	06.6	REVISED
4	06.6	REVISED
5	06.6	REVISED
6	06.6	REVISED
7	06.6	REVISED
8	06.6	REVISED
9	06.6	REVISED
10	06.6	REVISED

NOT FOR CONSTRUCTION
 PERMITS ONLY

REVISIONS



REVISIONS	
DATE	BY

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1925 5TH HWY. S. SUITE 201
 LAKELAND, FL 33551
 PHONE: (813) 943-9979
 Cert. # of Authorization #20184
 www.GaddCA.com

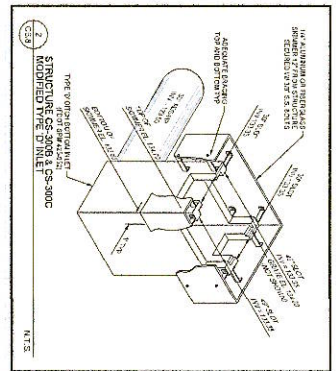
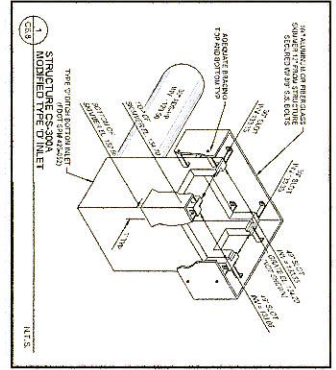
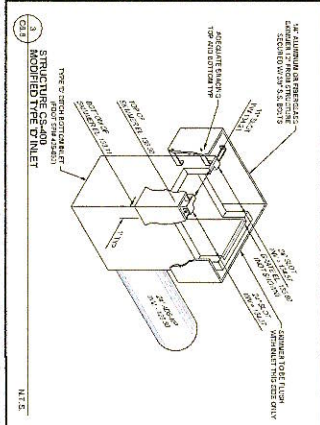
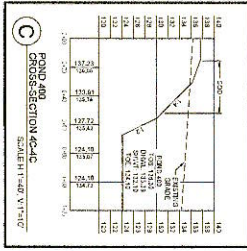
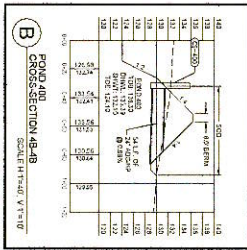
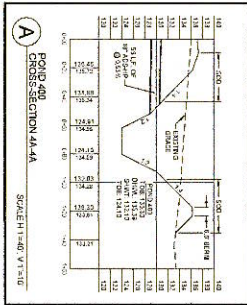
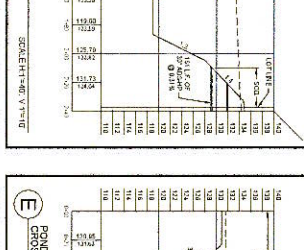
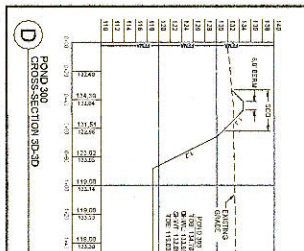
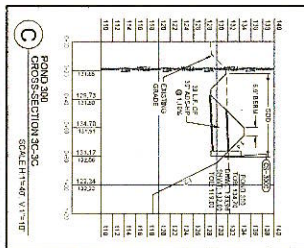
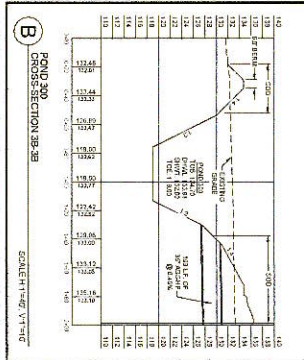
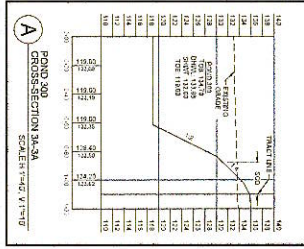
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
POND CROSS-SECTIONS & DETAILS

REVISION FOR	DATE	BY

NOT FOR CONSTRUCTION
 FOR REVIEW ONLY

DESIGNED BY: GADD
 DRAWN BY: GADD
 CHECKED BY: GADD
 PROJECT # 1185.01

C6.7



THOUSAND OAKS SUBDIVISION
 1055 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTANTS
 1025 US HIGHWAY 98 S. SUITE 201
 LAKE LAKE, FL 33451
 PHONE (850) 824-9970
 Website of Authorization #20184
 www.Gadd-FL.com

REVISIONS	
DATE	BY

ISSUED FOR: 4/29/21
 DRAWN BY: JTB
 CHECKED BY: JTB
 PROJECT NO: 1165-01

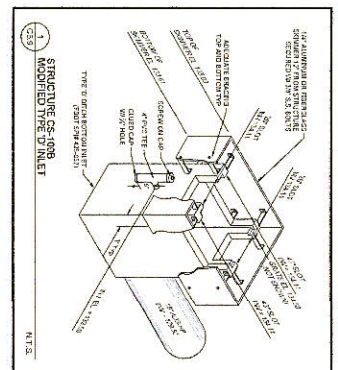
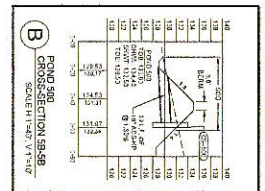
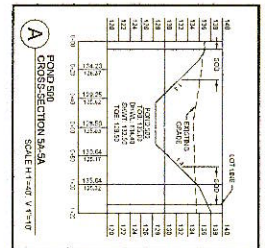
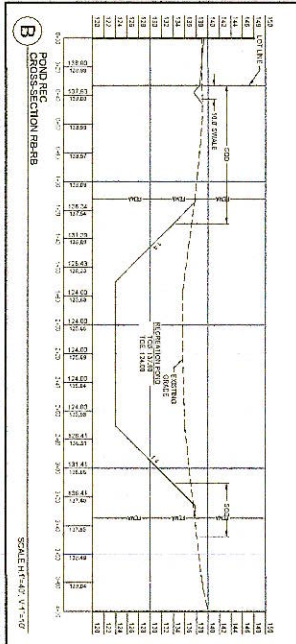
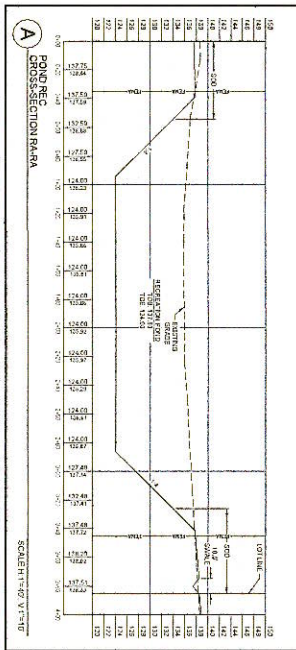
NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY

PROJECT # 1165-01

DATE: 4/29/21

CONTRACT: 2020 P.E.
 PLAN FILE NO: 100175

C6.8

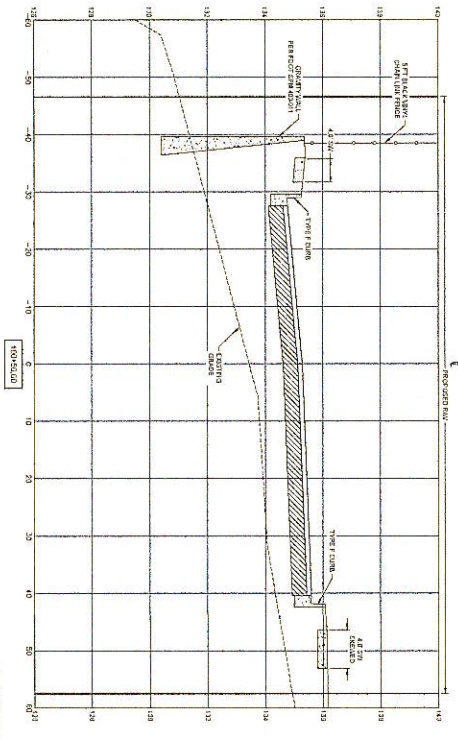


PROJECT # 1185.01	DATE	CONTRACT NO.
C6.9		
ROBERT A. GADD, P.E. FLA. P.E. NO. 70917	DATE	CONTRACT NO.
NOT FOR CONSTRUCTION FOR INFORMATION ONLY	DATE	CONTRACT NO.
REVISIONS	DATE	CONTRACT NO.

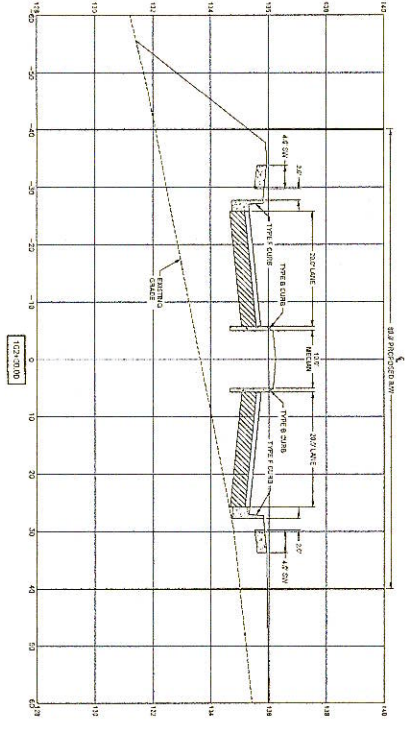
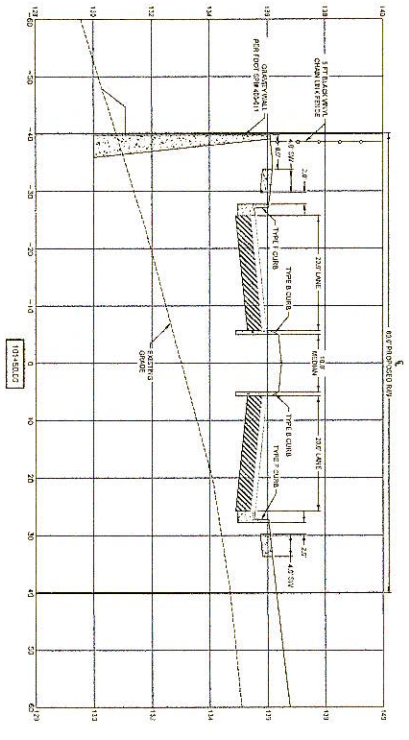
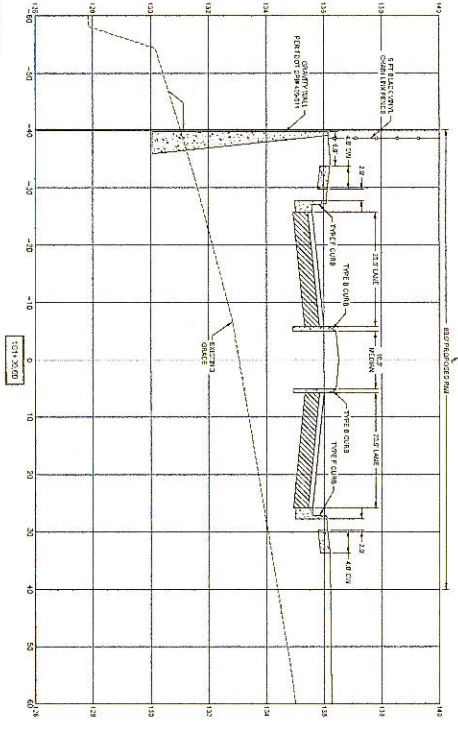
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
POND CROSS-SECTIONS & DETAILS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1065 US HWY 98 S SUITE 201
 LAKELAND, FL 33801
 PHONE (863) 342-9279
 Certificate of Authorization #33184
 www.gaddinc.com

DESIGNED	DATE
CHECKED	DATE
NO.	



STREET A CROSS-SECTIONS



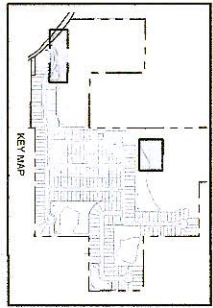
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
STREET A CROSS-SECTIONS



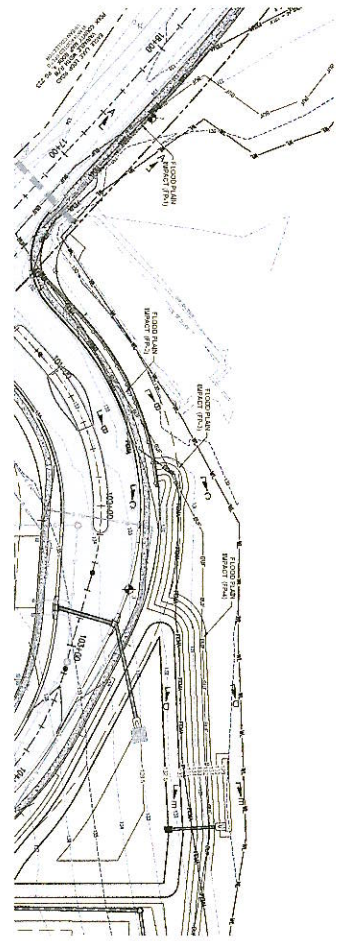
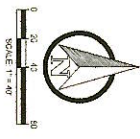
NO.	DATE	DESCRIPTION	BY	CHKD.

DESIGNED BY: JAG/STW
 DRAWN BY: JAG/STW
 CHECKED BY: JAG/STW
 IN CHARGE: JAG/STW
 DATE: 4/20/23
 NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY
 PROJECT # 1185-01
C6.10

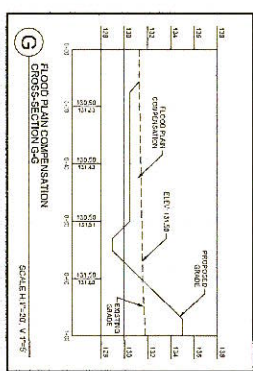
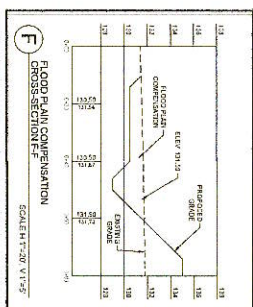
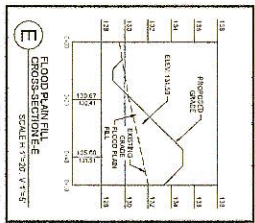
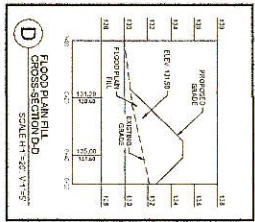
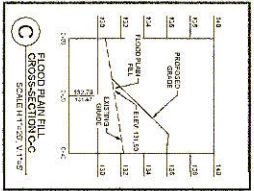
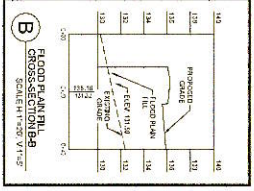
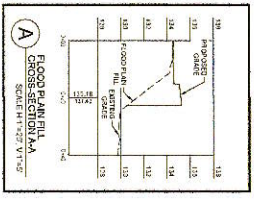
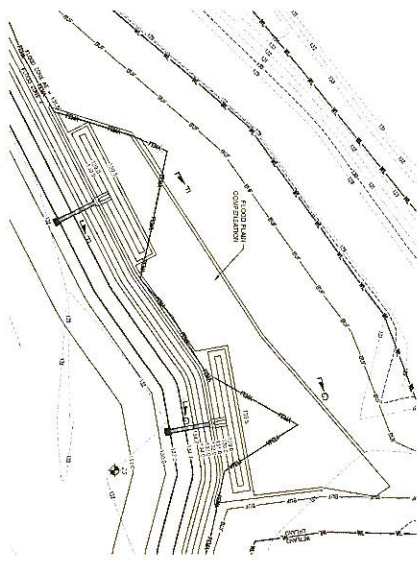
100 FLOOD PLAIN FILL (FP-1)				
ELEVANCE (FT)	AREA (SQ FT)	VOLUME (CU YD)	SCALE	REMARKS
133.0 TO 133.5	139	23	5.0	6.000
100 FLOOD PLAIN FILL (FP-2)				
ELEVANCE (FT)	AREA (SQ FT)	VOLUME (CU YD)	SCALE	REMARKS
133.0 TO 13.5	842	23	2.0	6.000
133.0 TO 13.5	722	31	4.0	6.000
100 FLOOD PLAIN FILL (FP-3)				
ELEVANCE (FT)	AREA (SQ FT)	VOLUME (CU YD)	SCALE	REMARKS
133.0 TO 13.5	113	43	4.0	6.000
100 FLOOD PLAIN FILL (FP-4)				
ELEVANCE (FT)	AREA (SQ FT)	VOLUME (CU YD)	SCALE	REMARKS
133.0 TO 13.5	423	24	2.0	6.000
133.0 TO 13.5	229	112	10.0	6.000



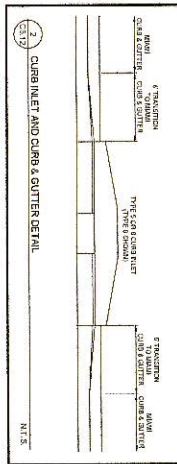
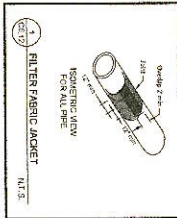
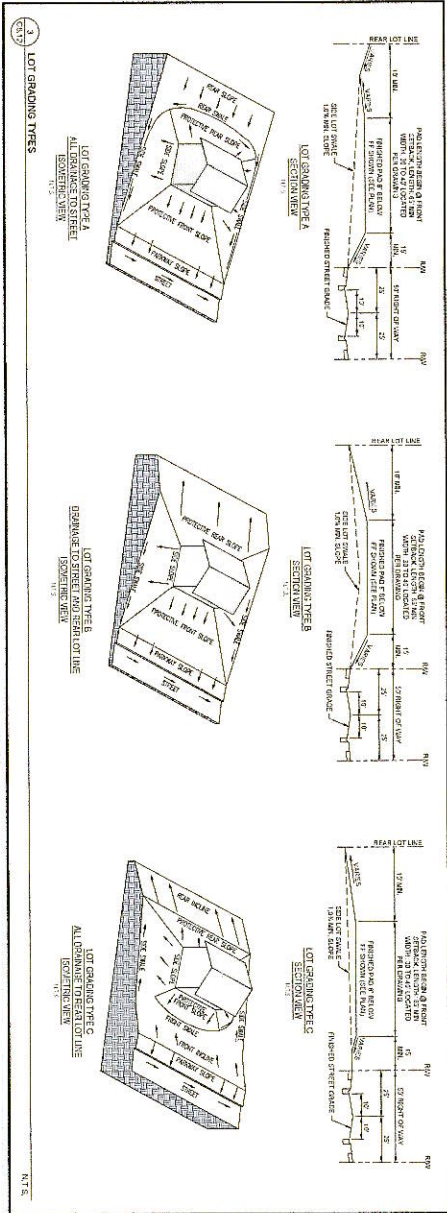
TOTAL FLOOD PLAIN COMPENSATION PROPOSED = 1883 CF
 TOTAL FLOOD PLAIN COMPENSATION REQUIRED = 2177 CF
 REMAIN COMPENSATION = 1175 CF



100 FLOOD PLAIN FILL (FP-2)				
ELEVANCE (FT)	AREA (SQ FT)	VOLUME (CU YD)	SCALE	REMARKS
133.0 TO 13.5	842	23	2.0	6.000
133.0 TO 13.5	722	31	4.0	6.000



REVISIONS NO. DATE BY 1 04/23/21 JLS 2 04/23/21 JLS	THOUSAND OAKS SUBDIVISION 1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839 FLOOD PLAIN IMPACT & COMPENSATION	GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING 1055 US HWY 98 S SUITE 201 LAKELAND, FL 33851 PHONE: (863) 842-9276 Certificate of Authorization #20184 www.gadd62.com	ISSUED FOR: [] DATE: [] DRAWN BY: [] CHECKED BY: [] REVISIONS: [] APPROVED BY: [] CONTRACT NO: [] SHEET NO: []
NOT FOR CONSTRUCTION FOR REVIEW ONLY		PROJECT # 1185-01 DATE: 06.11 TITLE: FLOOD PLAIN IMPACT & COMPENSATION	

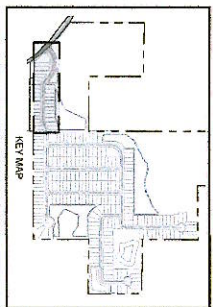
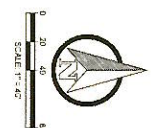
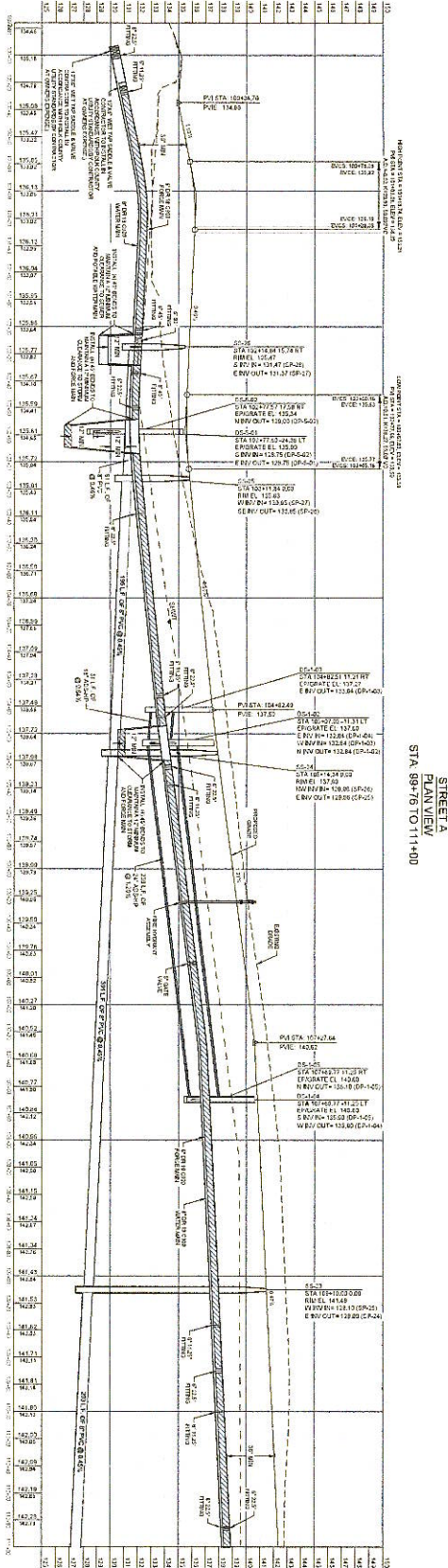
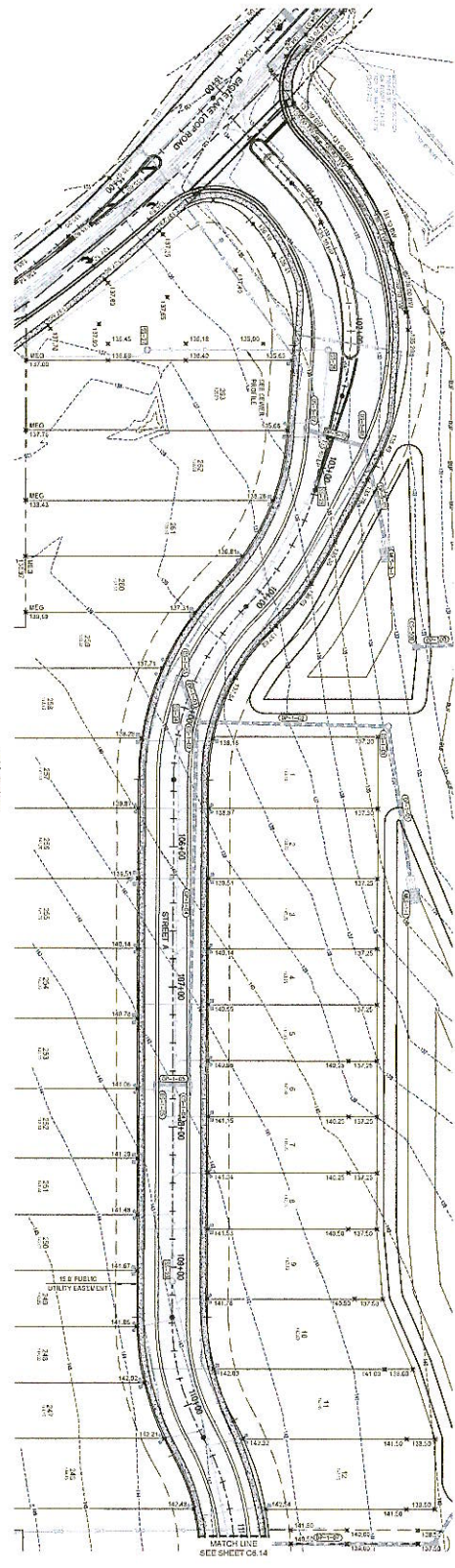
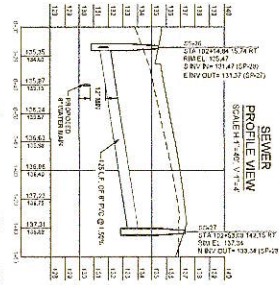


NO. FOR CONSTRUCTION	DATE	BY	REVISION
1			ISSUED FOR PERMITS
2			FOR CONSTRUCTION
3			FOR REMEDIATION

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GRADING & DRAINAGE DETAILS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 99 S, SUITE 201
 LAKELAND, FL 33851
 PHONE: (888) 240-2079
 Certificate of Authorization #20164
 www.G&A-CV.com

NO.	DATE	BY	REVISION

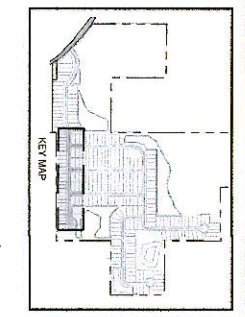
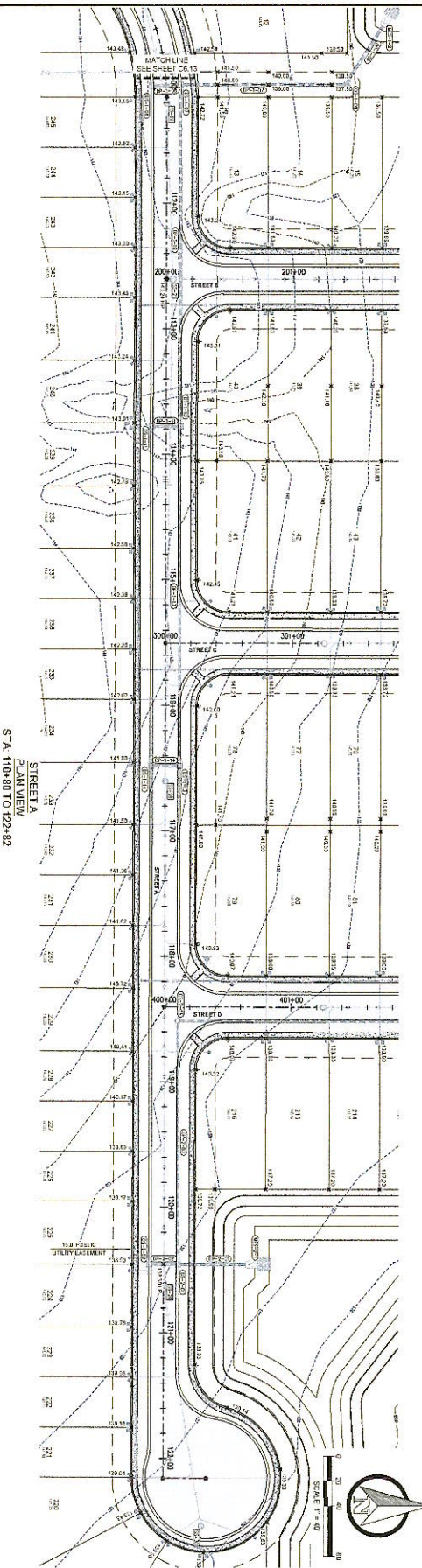
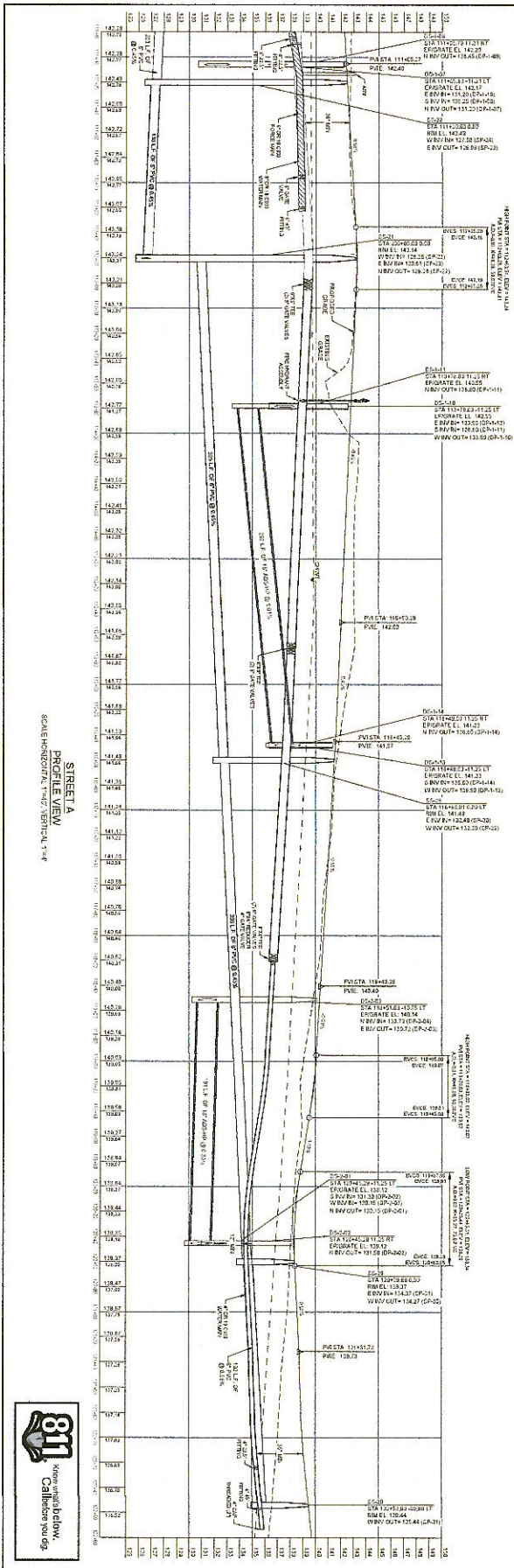


PROJECT # 1185-01	DATE
DESIGNER	DATE
CHECKER	DATE
APPROVER	DATE
NOT FOR CONSTRUCTION	

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33899
STREET A PLAN & PROFILE

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1525 US HWY 98 S, SUITE 201
 LAKELAND, FL 33801
 PHONE: (888) 840-9979
 Certificate of Authorization #30164
 www.GaddCo.com

NO.	DATE	DESCRIPTION



811
 Known as below
 Calhoun & Co., Inc.

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 32839
STREET A PLAN & PROFILE

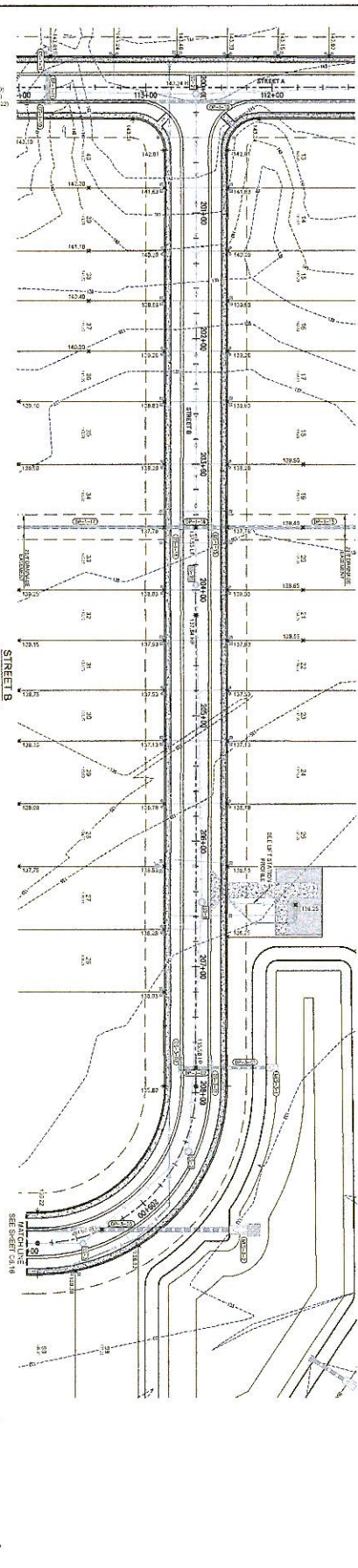
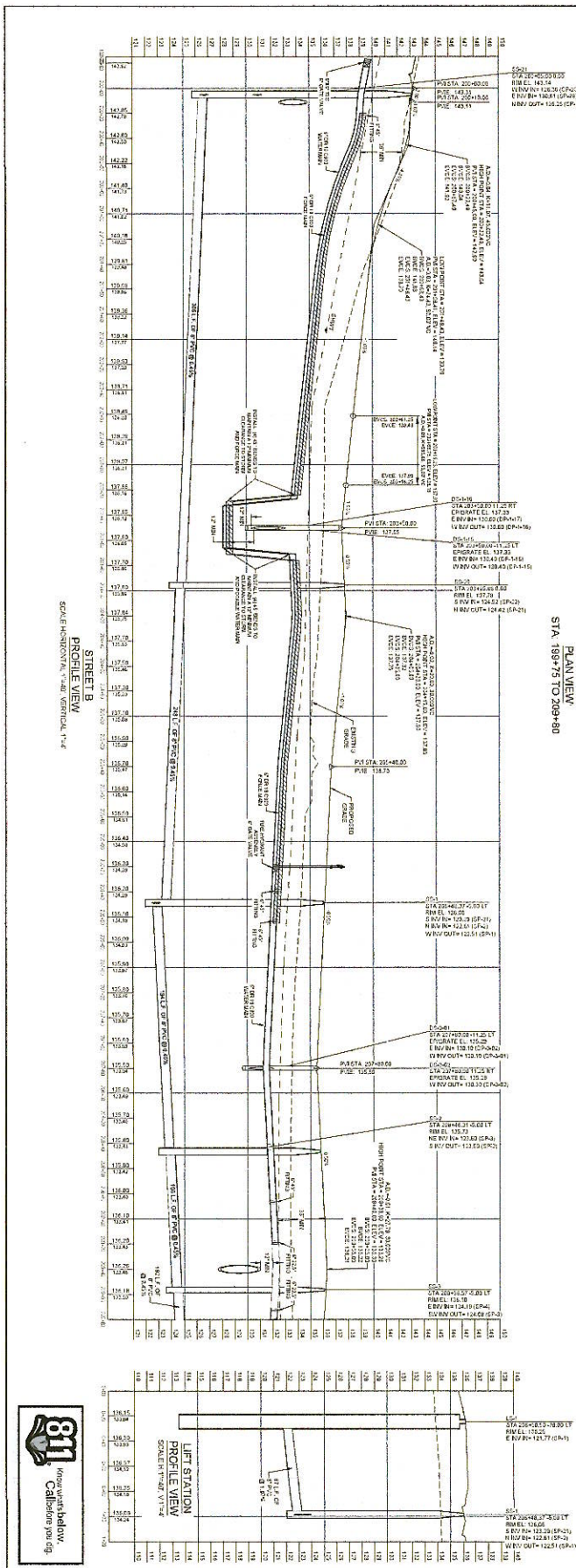
GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1825 US HWY 68 S SUITE 201
 LAKELAND, FL 33801
 PH: (863) 640-0079
 Certificate of Authorization #30194
 www.gaddcivil.com

REVISIONS	
NO.	DATE

NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY

DATE:
 PROJECT # 116501

PROJECT # 116501



KEY MAP

REVISIONS

NO.	DESCRIPTION	DATE

SCALE 1"=40'

PROJECT # 1265.01	DATE
DESIGNED & DRAWN BY F.A. Mc NEELY	DATE
C6.15	DATE
NOT FOR CONSTRUCTION	DATE

THOUSAND OAKS SUBDIVISION

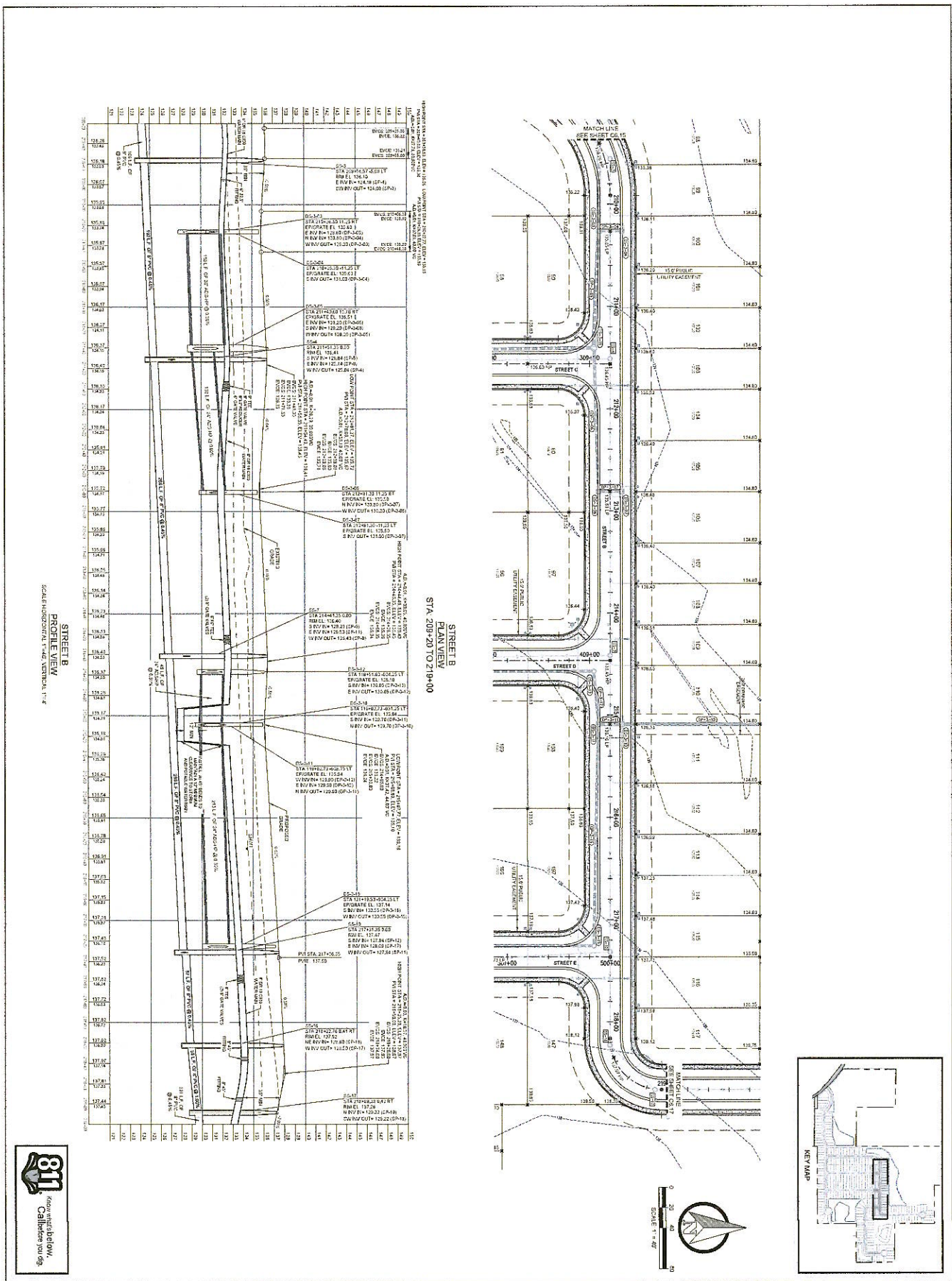
1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33899

STREET B PLAN & PROFILE

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING

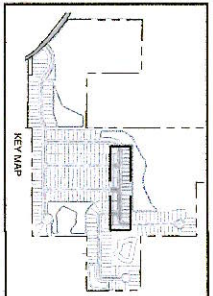
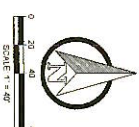
1025 US HWY 98 S, SUITE 201
 LAKELAND, FL 33801
 PHONE: (888) 800-9279
 Certificate of Authorization #33104
 www.GADDcivil.com

NO.	DESCRIPTION	DATE



STREET B
 PROFILE VIEW
 SCALE HORIZONTAL: 1"=40'
 SCALE VERTICAL: 1"=4'

STREET B
 PLAN VIEW
 STA 209+20 TO 219+00



PROJECT #1185.01
 DATE
 C6.16
 DESIGNER: GADD P.C.
 P.L.A. P.E. NO. 70915

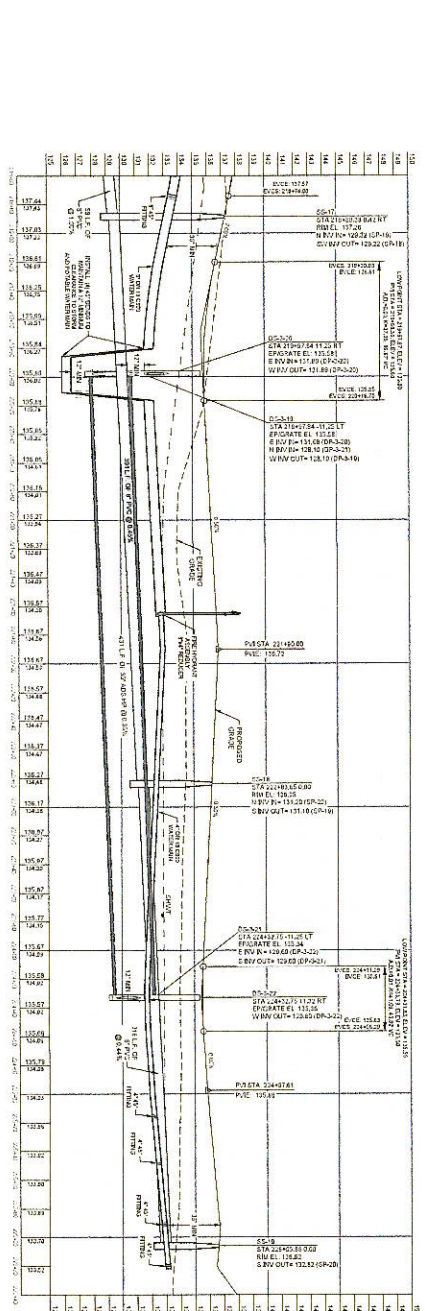
NOT FOR CONSTRUCTION
 UNLESS SHOWN OTHERWISE

ISSUED FOR	DATE
FOR APPROVAL	3/15/22
FOR CONSTRUCTION	3/15/22
FOR RECORD	3/15/22

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
STREET B PLAN & PROFILE

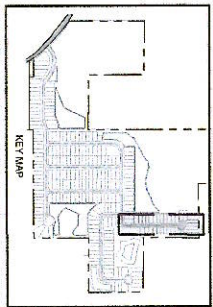
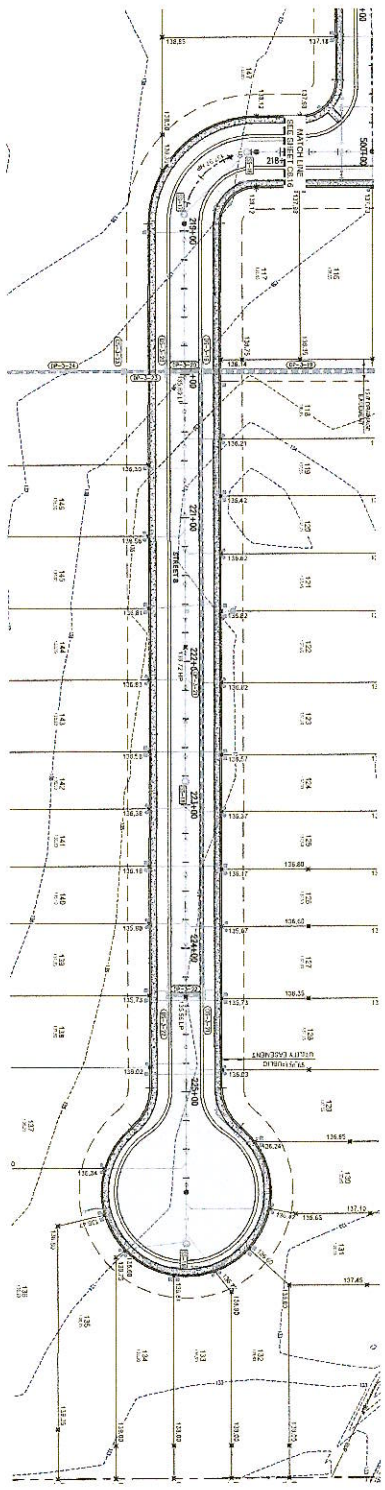
GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1022 US HWY 98 S SUITE 201
 LANESLAND, FL 33601
 PHONE (813) 940-0973
 Certificate of Authorization #201164
 www.Sta9Civ.com

REVISIONS		
NO.	DESCRIPTION	DATE



**STREET B
 PROFILE VIEW**
 SCALE: HORIZONTAL 1"=40' VERTICAL 1"=4'

**STREET B
 PLAN VIEW**
 STA. 219+60 TO 229+40



THOMAS A. GADD, P.E.
 F.L.A. No. 12345
 DATE: _____
C6.17
 PROJECT # 1185.01

NO. 1 FOR CONSTRUCTION
 CONTRACT REVIEW ONLY

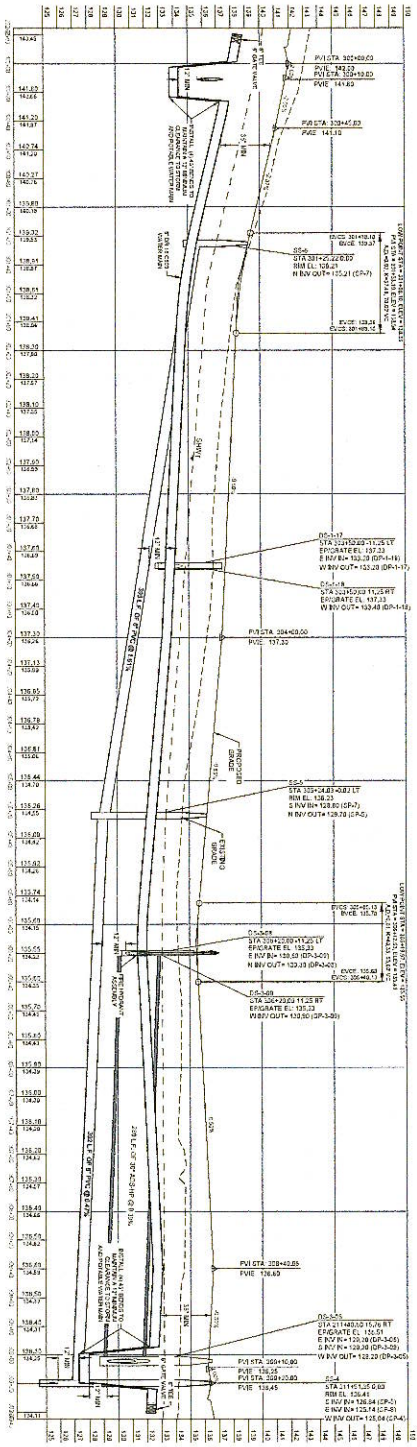
REVISION NO.	DATE	DESCRIPTION

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
STREET B PLAN & PROFILE

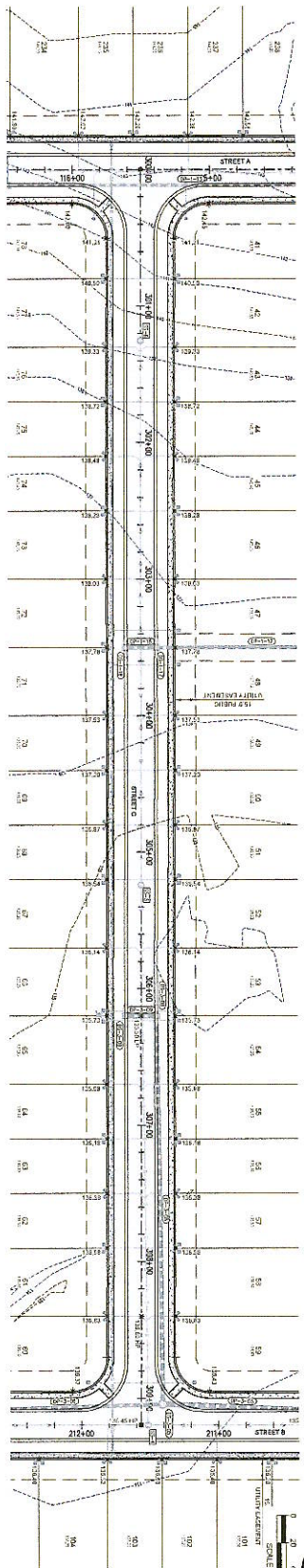
GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 88 S. SUITE 201
 LAKELAND, FL 33801
 PHONE: (888) 840-8079
 Certificate of Authorization #30164
 www.gaddca.com

DATE	BY	REVISIONS

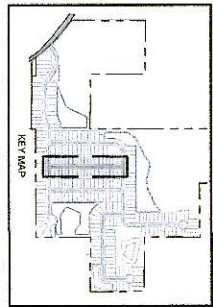
REVISIONS



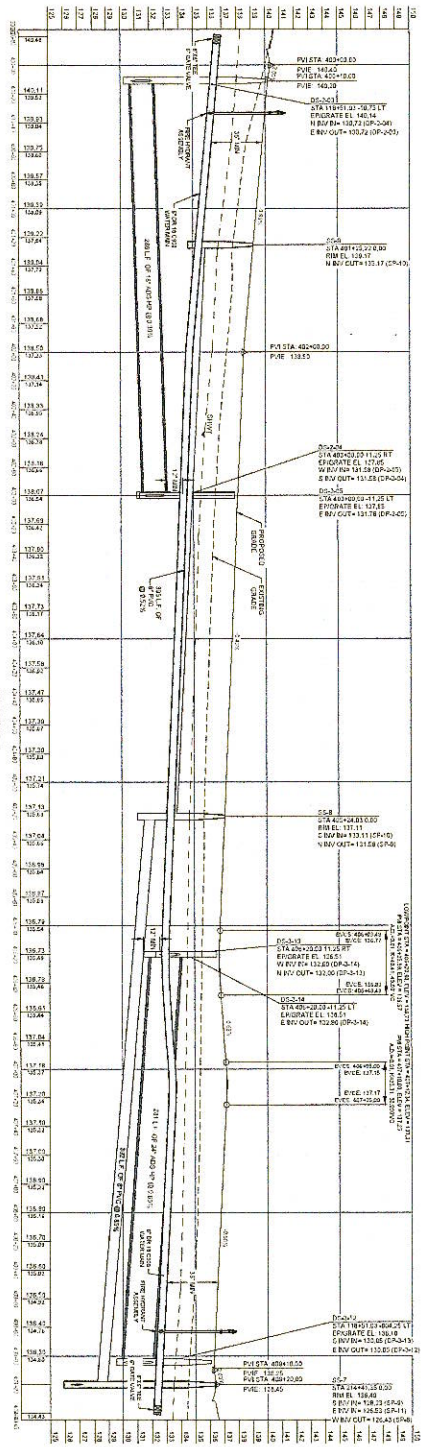
STREET C
 PROFILE VIEW
 SCALE: HORIZONTAL 1"=40', VERTICAL 1"=4'



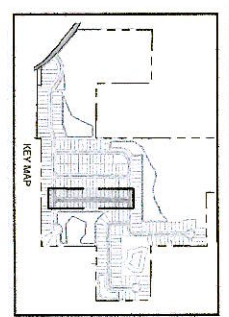
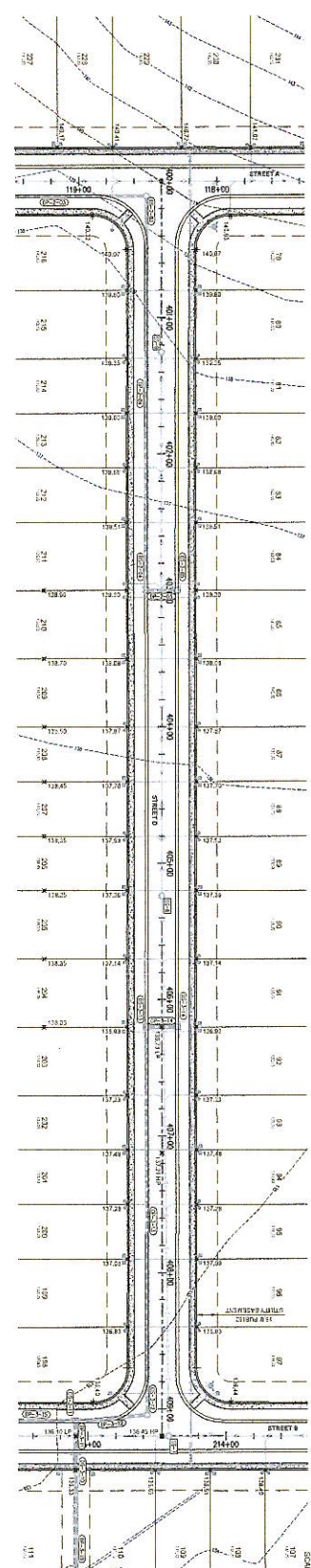
STREET C
 PLAN VIEW
 STA. 299+75 TO 309+45



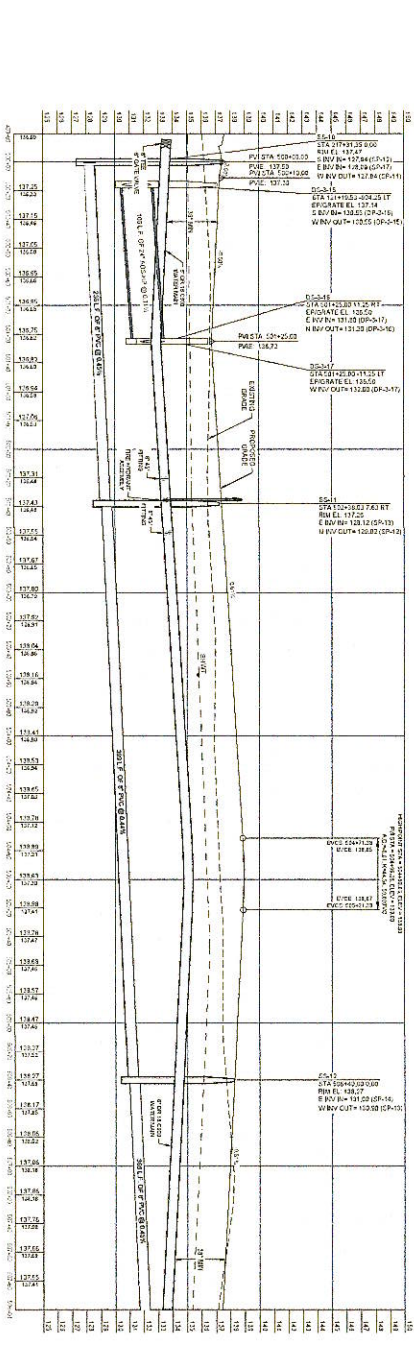
THOUSAND OAKS SUBDIVISION 1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839 STREET C PLAN & PROFILE	GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING 1063 US HWY 98 S, SUITE 201 LAKE LAKE, FL 33901 PHONE: (888) 644-2378 Cell: (407) 478-2378 www.gaddca.com	DESIGNED: [] CHECKED: [] DATE: []	REVISIONS
		PROJECT # 1165-01 DATE: [] DRAWN BY: [] CHECKED BY: [] DATE: []	NOT FOR CONSTRUCTION FOR REVISION ONLY



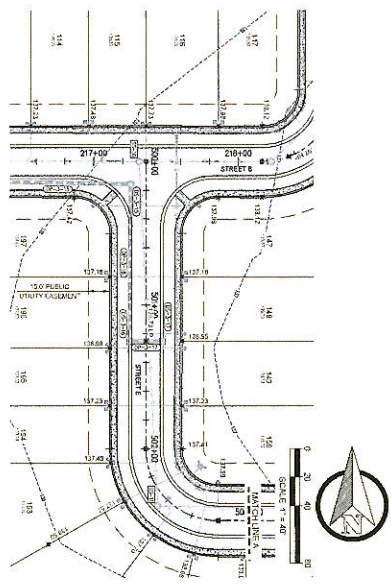
STREET D PLAN VIEW
 STA 389+7.5 TO 409+45



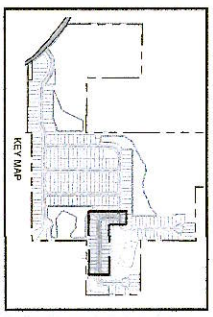
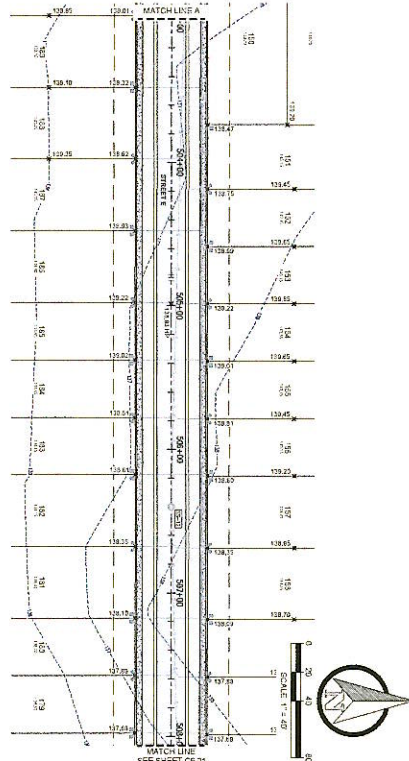
PROJECT # 1185.01 CG.19 DATE: _____ FLSA P.E. No. 78915 REGISTERED PROFESSIONAL ENGINEER	THOUSAND OAKS SUBDIVISION 1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839 STREET D PLAN & PROFILE	 GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING 1065 US HWY 90 S SUITE 201 LAKELAND, FL 33851 PHONE: (850) 850-9070 Certificate of Authorization #20164 www.GADD.com	REVISIONS NO. 1 DATE: _____ BY: _____ DESCRIPTION: _____
			NOT FOR CONSTRUCTION FOR REVIEW ONLY



STREET E PLAN VIEW
 STA. 489+75 TO 503+00



STREET E PLAN VIEW
 STA. 503+00 TO 508+00



THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33899
STREET E PLAN & PROFILE

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1025 US HWY 98 S, SUITE 201
 LANGLAND, FL 33501
 PHONE (850) 940-0270
 Certificate of Authorization #23184
 www.Gadd&A.com

NO. FOR CONSTRUCTION	DATE	BY	FOR

REVISIONS	DATE	BY	FOR

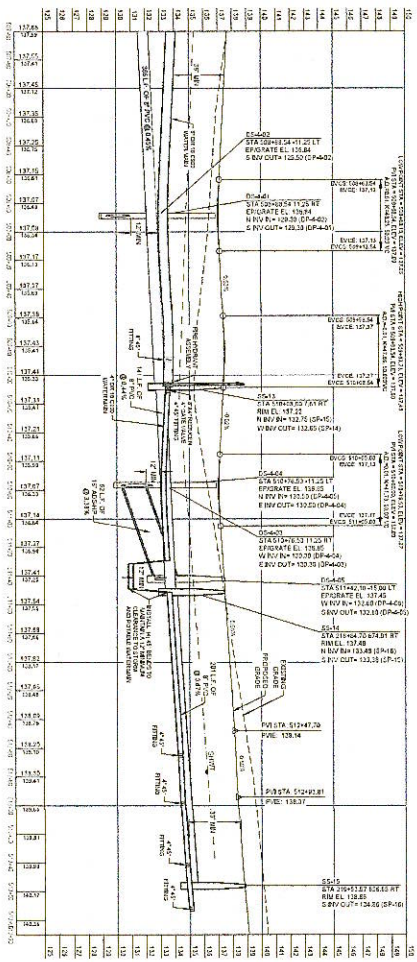
NO. FOR CONSTRUCTION	DATE	BY	FOR

NO. FOR CONSTRUCTION	DATE	BY	FOR

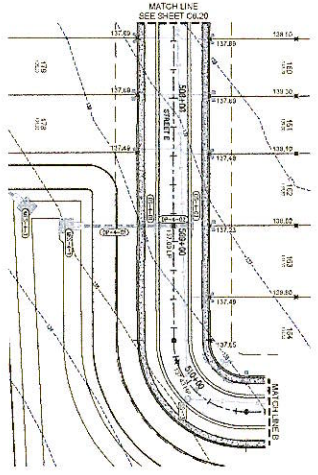
NO. FOR CONSTRUCTION	DATE	BY	FOR

NO. FOR CONSTRUCTION	DATE	BY	FOR

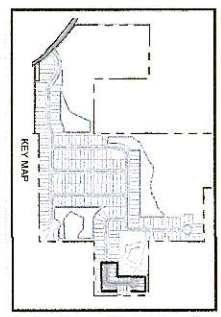
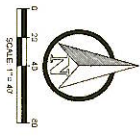
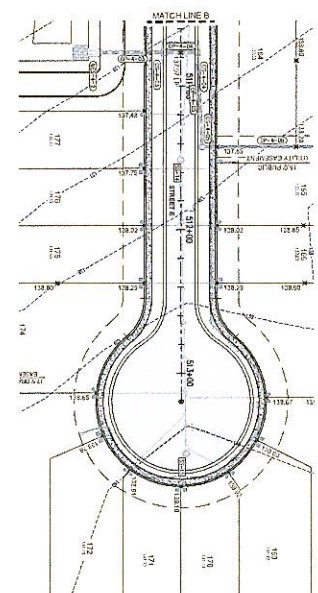
PROJECT #1185-01
C6.20



STREET E
 PLAN VIEW
 STA 507+00 TO 510+80



STREET E
 PLAN VIEW
 STA 510+80 TO 513+80



PROJECT #1185.01
C6.21
 DATE

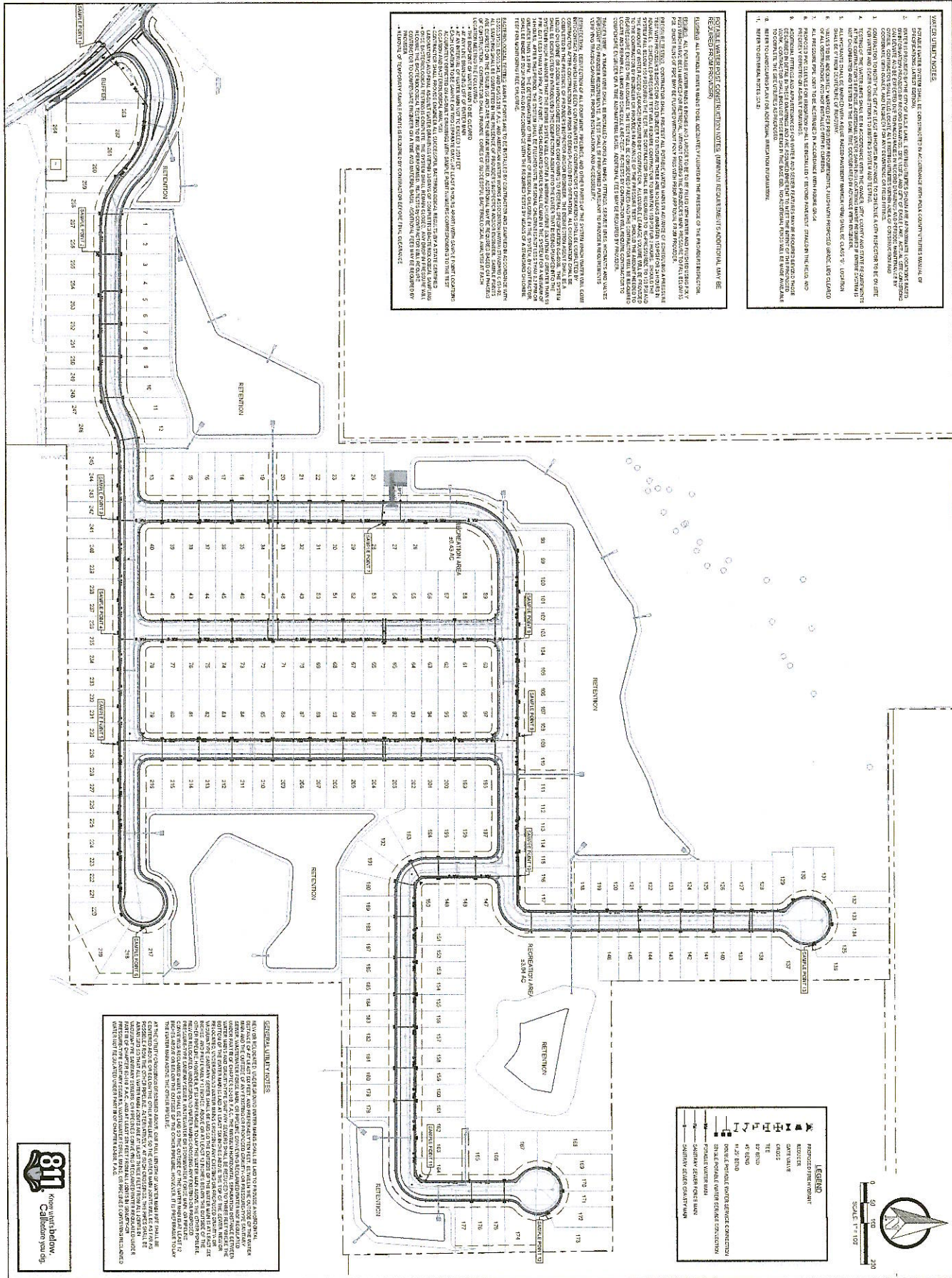
DESIGNED & DRAWN BY
 P.L.A.B.C. No. 10785
 CHECKED BY
 DATE

NOT FOR CONSTRUCTION
 UNLESS SHOWN OTHERWISE

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
STREET E PLAN & PROFILE

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 98 S, SUITE 201
 LAKELAND, FL 33801
 PHONE: (888) 306-0979
 Certificate of Authorization #20184
 www.GaddCo.com

REVISIONS	
NO.	DESCRIPTION



- WARRANTY NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE REGULATIONS AND ORDINANCES.

POTABLE WATER PLAN CONSTRUCTION NOTES:

1. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

GENERAL NOTES:

1. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

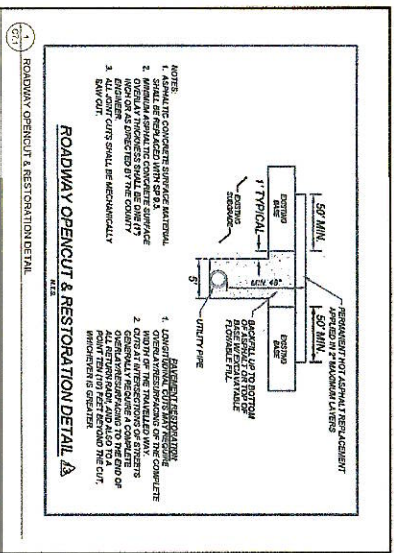
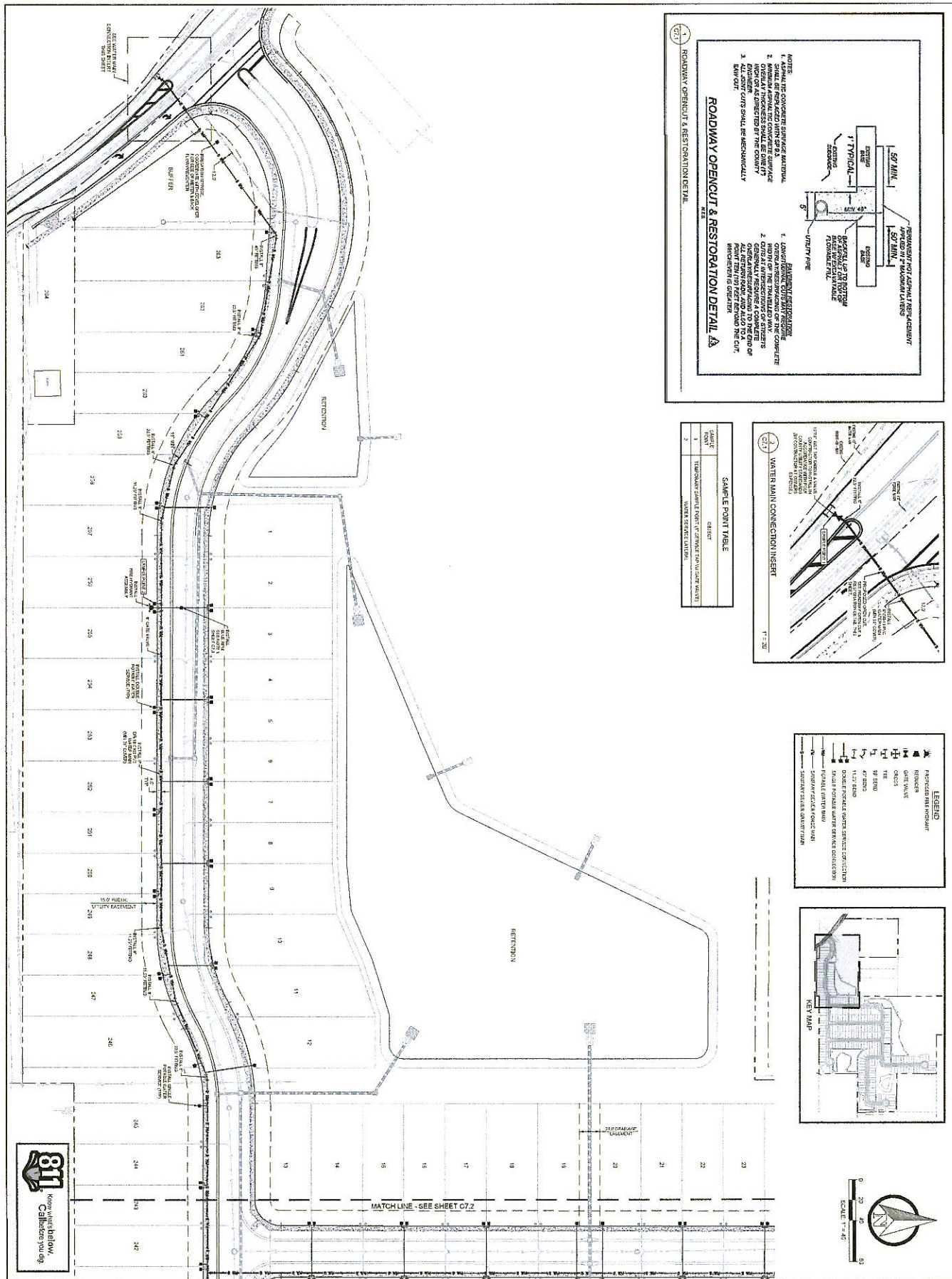
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

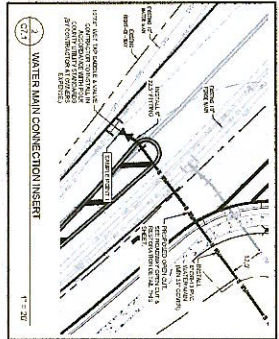


<p>THOUSAND OAKS SUBDIVISION</p> <p>1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839</p> <p>OVERALL POTABLE WATER PLAN</p>		<p>GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING</p> <p>1625 US HWY 99 & SUITE 251 LAKE LAKE, FL 33509 PHONE (850) 343-0278 Certificate of Authorization #30704 www.Gadd&Co.com</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE		DESCRIPTION						
<p>PROJECT #: 1185-01</p> <p>DATE: 4/29/21</p> <p>DESIGNER: JRM</p> <p>CHECKER: JRM</p> <p>APPROVER: JRM</p> <p>DATE: 4/29/21</p>	<p>NOT FOR CONSTRUCTION</p> <p>FOR REVIEW ONLY</p> <p>DESIGNED BY: JRM</p> <p>CHECKED BY: JRM</p> <p>DATE: 4/29/21</p>	<p>PROJECT #: 1185-01</p> <p>DATE: 4/29/21</p> <p>DESIGNER: JRM</p> <p>CHECKER: JRM</p> <p>APPROVER: JRM</p> <p>DATE: 4/29/21</p>							



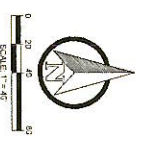
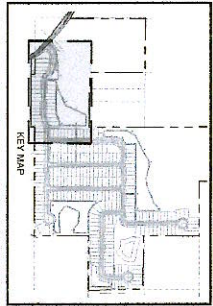
SAMPLE POINT TABLE

SAMPLE NO.	TEMPORARY SAMPLE POINT 1" CENTER TO NEAREST WALL	WATER SERVICE CATEGORY
1	CL 20	CL 20
2	CL 21	CL 21



LEGEND

- ▲ PROPOSED FIRE HYDRANT
- RECONCRETE
- GOLF WADE
- OPEN
- 18" FINISH
- 18" FINISH
- 18" FINISH
- DOUBLE POTABLE WATER SERVICE CONNECTION
- SINGLE POTABLE WATER SERVICE CONNECTION
- POTABLE SERVICE MAIN
- SLOWLY FILLING SAND FILTER



THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33899
POTABLE WATER PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1025 US HWY 98 S. SUITE 201
 LAKELAND, FL 33801
 PHONE: (888) 248-9090
 Certificate of Authorization #30194
 www.GaddCA.com

REVISIONS

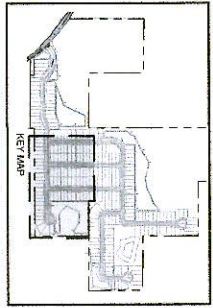
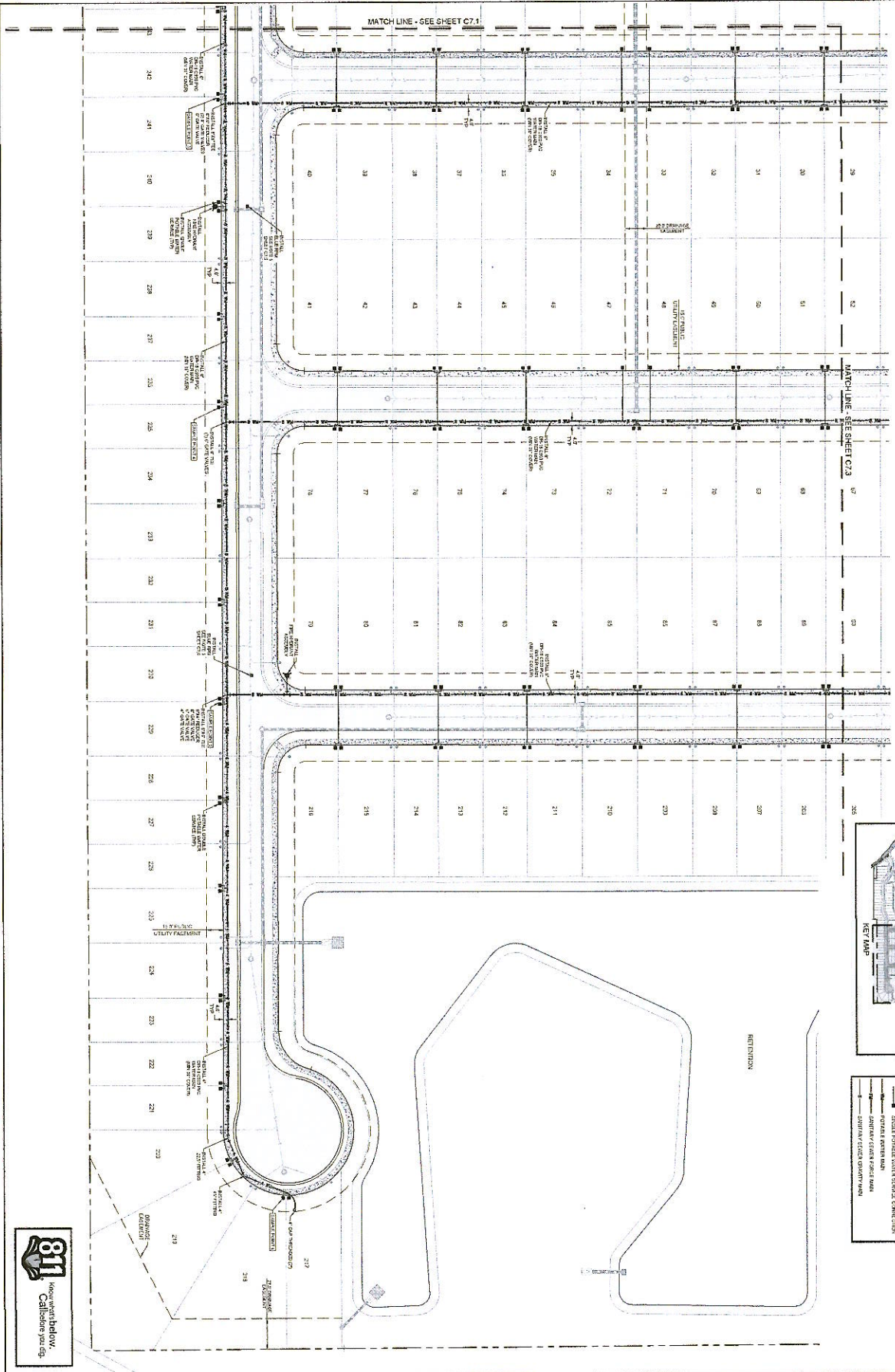
NO.	DATE	DESCRIPTION



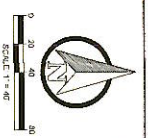
DESIGNED BY: [Blank]
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 IN CHARGE: [Blank]
 DATE: [Blank]
 PROJECT # 1165.01

C7.1

SAMPLE POINT TABLE	
1	PROJECT
2	THOUSAND OAKS SUBDIVISION
3	POTABLE WATER SYSTEM
4	PLAN
5	DATE
6	BY
7	CHECKED
8	DATE



LEGEND	
[Symbol]	PROPOSED WATER MAIN
[Symbol]	EXISTING WATER MAIN
[Symbol]	PROPOSED SANITARY MAIN
[Symbol]	EXISTING SANITARY MAIN
[Symbol]	PROPOSED 12\"/>



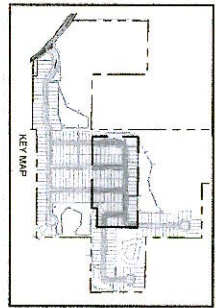
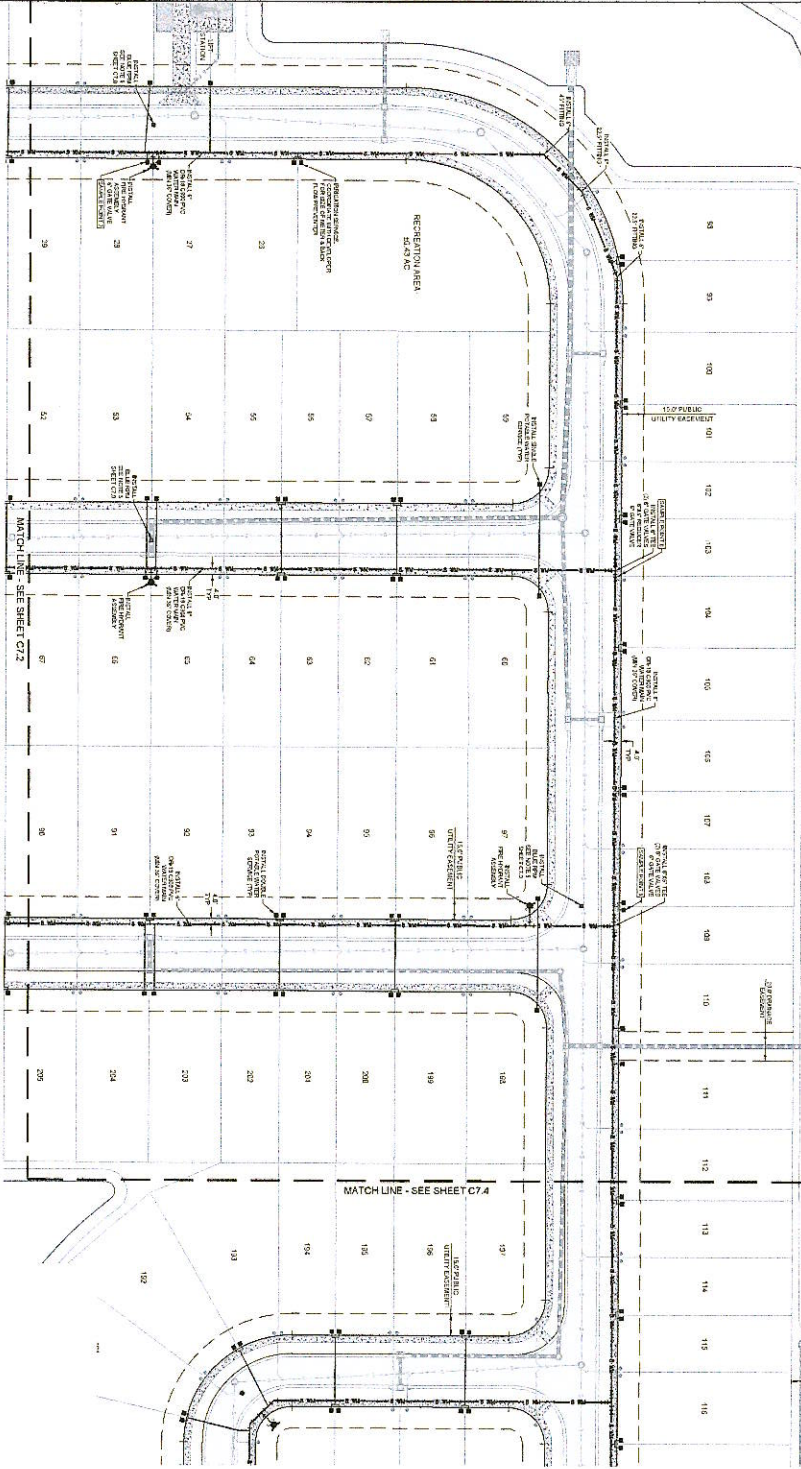
REVISIONS		
NO. 1	DATE	DESCRIPTION

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
POTABLE WATER PLAN

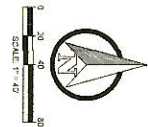
GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1522 US HWY 90 S, SUITE 201
 LAKE LAKE, FL 33851
 PHONE: (888) 849-2978
 Certificate of Authorization #30114
 www.Gadd&A.com

DATE	BY	CHECKED	NO.

SAMPLE POINT TABLE		
Point	Notes	Location
1	ENTER SERVICE AREA	
2	THOUSAND OAKS SUBDIVISION	
3	ENTER SERVICE AREA	



LEGEND	
(Symbol)	PROPOSED FIRE HYDRANT
(Symbol)	ROCKETS
(Symbol)	ENTRANCE
(Symbol)	DRIVE
(Symbol)	TRAIL
(Symbol)	BIKEWAY
(Symbol)	AVENUE
(Symbol)	1/2\"/>



REVISIONS	
NO.	DESCRIPTION

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
POTABLE WATER PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1022 US HWY 98 S. SUITE 201
 LAKELAND, FL 33801
 PHONE: (813) 740-9970
 Certificate of Authorization #20104
 www.GaddCivil.com

DATE	BY	CHKD

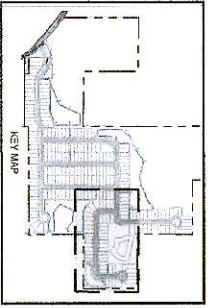
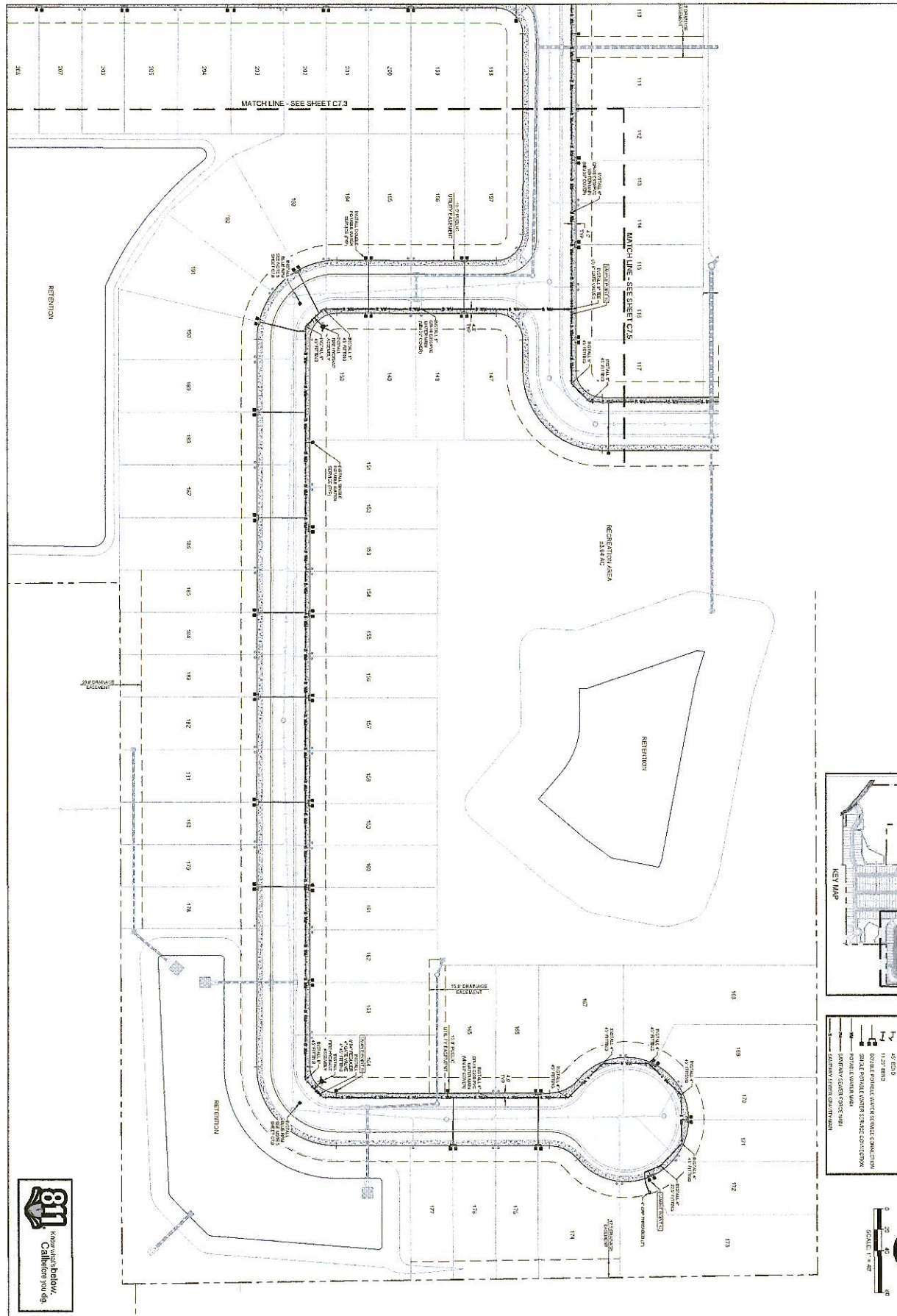
ROBERT A. GADD, P.E.
 101 N. W. 4th St.
 DATE:

NOT FOR CONSTRUCTION
 FOR REVIEW ONLY
 PROJECT # 118501

C7.3

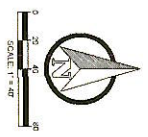
SAMPLE POINT TABLE

NO.	DESCRIPTION
1	TEMPORARY SAMPLE POINT 11' CENTER FROM CURB FACE
2	TEMPORARY SAMPLE POINT 11' CENTER FROM C&G CURB FACE



LEGEND

Symbol: Star	RAISED ELEVATION
Symbol: Circle with cross	REDUCE
Symbol: Circle with cross and dot	DART VALVE
Symbol: Circle with cross and dot and line	CROSS
Symbol: Circle with cross and dot and line and dot	TEE
Symbol: Circle with cross and dot and line and dot and line	MITER
Symbol: Circle with cross and dot and line and dot and line and dot and line	45° ELBO
Symbol: Circle with cross and dot and line and dot and line and dot and line and dot and line	90° ELBO
Symbol: Circle with cross and dot and line and dot and line and dot and line and dot and line and dot and line	SOFT POINTS WITHIN SERVICE CONNECTION
Symbol: Circle with cross and dot and line and dot and line and dot and line and dot and line and dot and line and dot and line	HORIZONTAL SERVICE MAIN
Symbol: Circle with cross and dot and line and dot and line and dot and line and dot and line and dot and line and dot and line and dot and line	VERTICAL SERVICE MAIN
Symbol: Circle with cross and dot and line and dot and line and dot and line and dot and line and dot and line and dot and line and dot and line and dot and line	SANITARY SERVICE CONNECTION

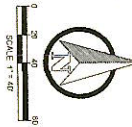
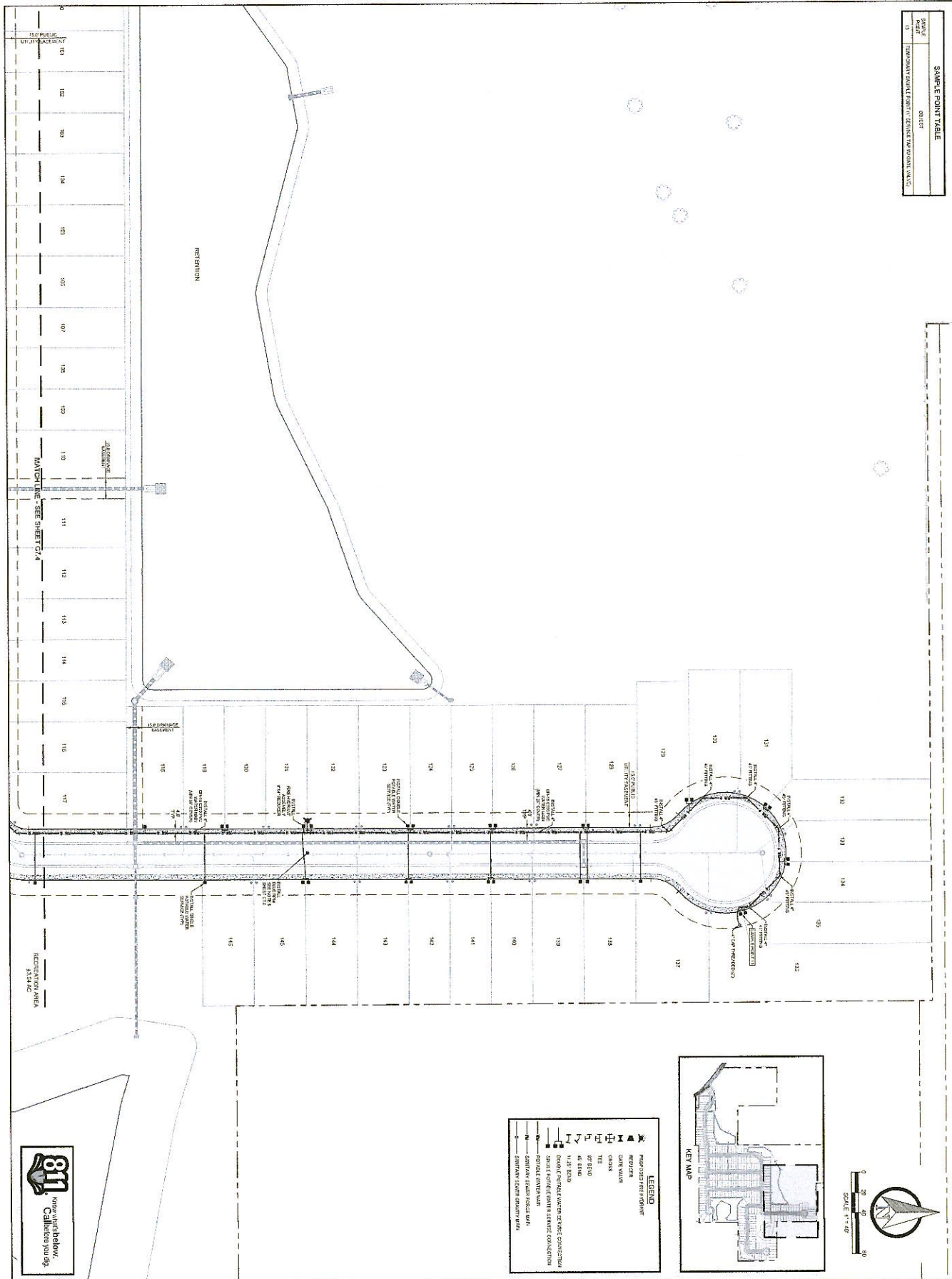


REVISIONS	
NO.	DATE

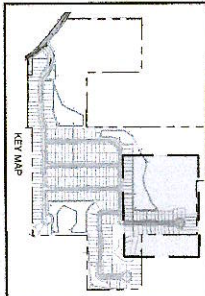
DESIGNED BY	DATE
CHECKED BY	

THOUSAND OAKS SUBDIVISION 1065 EAGLE LAKE LOOP ROAD EAGLE LAKE, FL 33839 POTABLE WATER PLAN	GADD & ASSOCIATES CIVIL ENGINEERING & CONSULTING 1032 US HWY 98 S, SUITE 201 LAKELAND, FL 33851 PH: (885) 949-9570 Certificate of Authorization #20114 www.GADDcivil.com
--	--

SAMPLE POINT TABLE	
NO. OF POINTS	05
OBJECT	THOUSAND OAKS SUBDIVISION POTABLE WATER PLAN



LEGEND	
(Symbol)	PROPOSED HIGH RISE
(Symbol)	REVISION
(Symbol)	CURB WALL
(Symbol)	TIE
(Symbol)	SW BEND
(Symbol)	AS BEND
(Symbol)	1/2\"/>



THOUSAND OAKS SUBDIVISION
 1055 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
POTABLE WATER PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1633 US HWY 98 S, SUITE 205
 LAKE LAKE, FL 33409
 PHONE (888) 548-2072
 Certificate of Registration #33164
 www.GaddCivil.com

REVISIONS	
NO.	DESCRIPTION

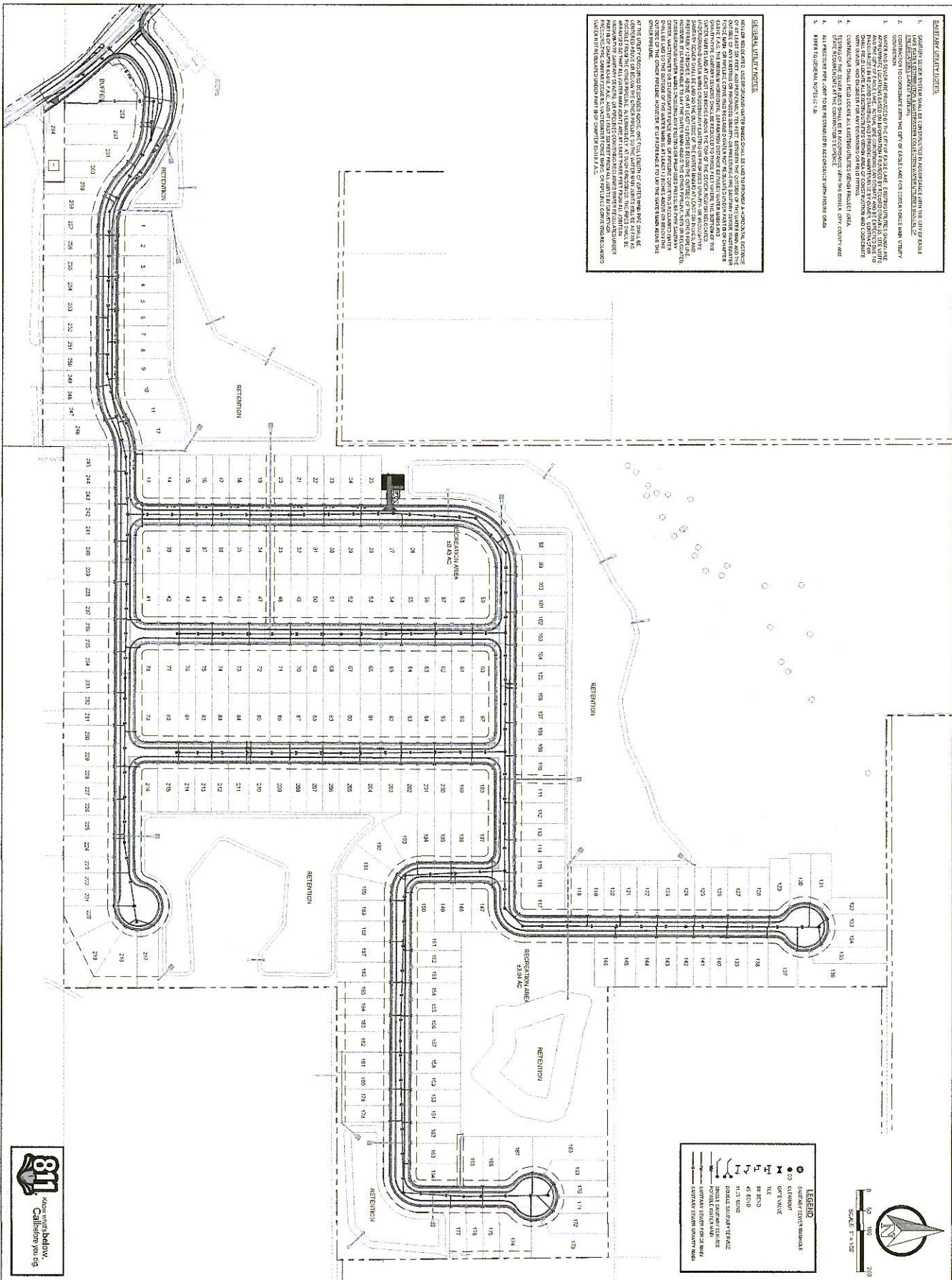
PROJECTIONS	
NO.	DATE

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

ROBINVA A. GADD P.E.
 F.L.A. No. 98793

DATE: **C7.5**

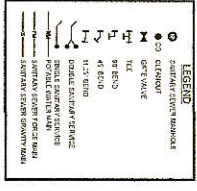
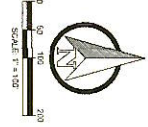
PROJECT # 1185.01



- GENERAL NOTES:**
1. SANITARY SEWER MAINS SHALL BE CONSTRUCTED BY ACCORDANCE WITH THE CITY OF EAGLE LAKE SANITARY SEWER ORDINANCE AND THE CITY OF EAGLE LAKE SANITARY SEWER DESIGN MANUAL.
 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF EAGLE LAKE SANITARY SEWER DESIGN MANUAL AND THE CITY OF EAGLE LAKE SANITARY SEWER ORDINANCE.
 3. ALL SANITARY SEWER MAINS SHALL BE 18" DIA. 15' DEPTH 15' SPAN CONCRETE PIPE WITH 15' DEPTH 15' SPAN CONCRETE MANHOLES.
 4. ALL SANITARY SEWER MAINS SHALL BE 18" DIA. 15' DEPTH 15' SPAN CONCRETE PIPE WITH 15' DEPTH 15' SPAN CONCRETE MANHOLES.
 5. ALL SANITARY SEWER MAINS SHALL BE 18" DIA. 15' DEPTH 15' SPAN CONCRETE PIPE WITH 15' DEPTH 15' SPAN CONCRETE MANHOLES.

GENERAL NOTES:

NO OTHER NOTES OR CONDITIONS APPLY TO THIS PLAN. THE ENGINEER HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF EAGLE LAKE SANITARY SEWER ORDINANCE AND THE CITY OF EAGLE LAKE SANITARY SEWER DESIGN MANUAL. THE ENGINEER HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF EAGLE LAKE SANITARY SEWER ORDINANCE AND THE CITY OF EAGLE LAKE SANITARY SEWER DESIGN MANUAL. THE ENGINEER HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF EAGLE LAKE SANITARY SEWER ORDINANCE AND THE CITY OF EAGLE LAKE SANITARY SEWER DESIGN MANUAL.



REVISIONS	
NO.	DATE

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1628 US HWY 19 S, SUITE 201
 LAKELAND, FL 33509
 PHONE: 813-338-8400
 Certificate of Authorization #30104
 www.GaddCA.com

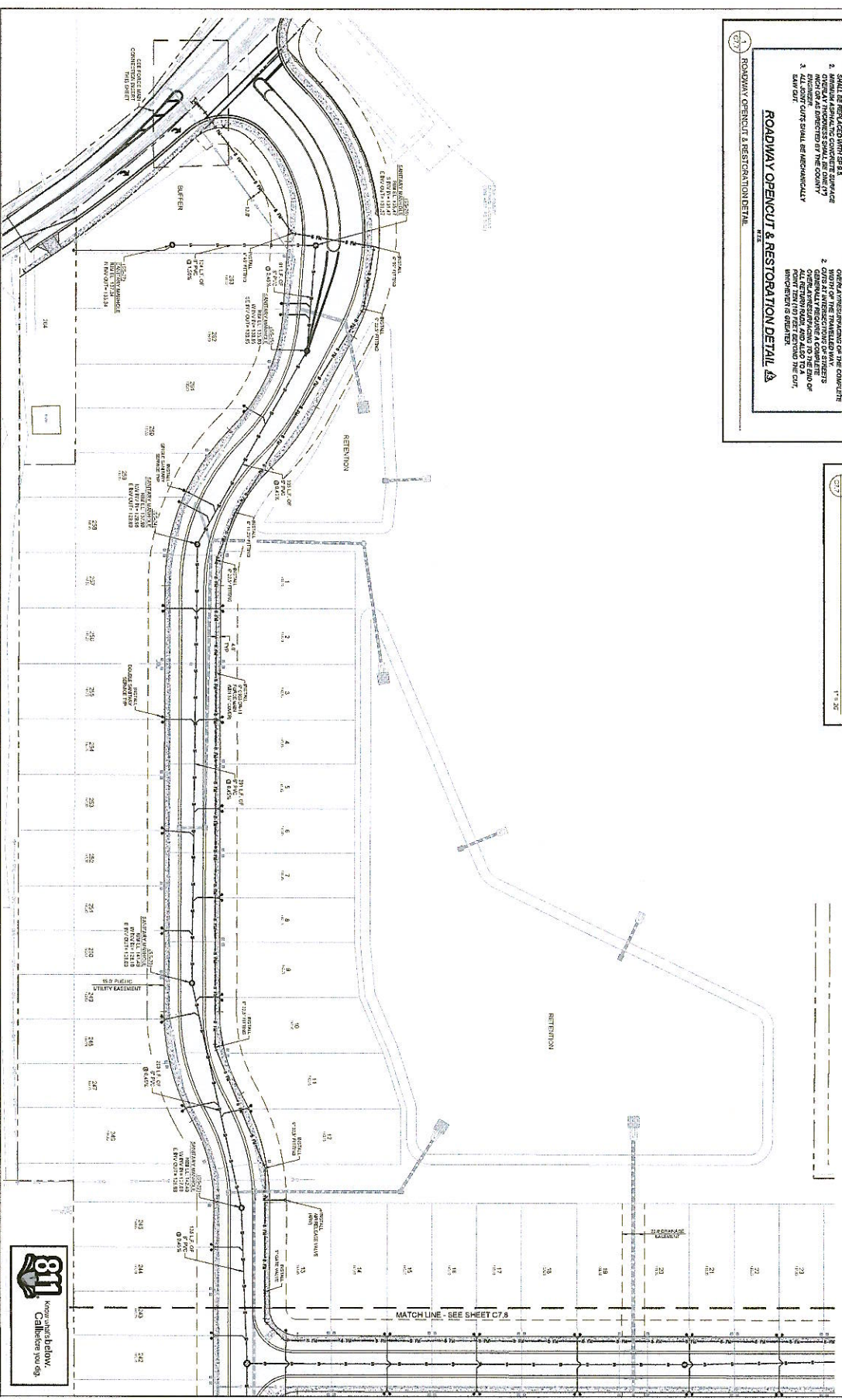
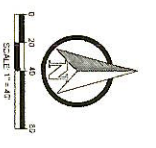
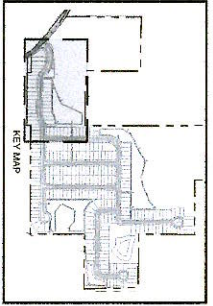
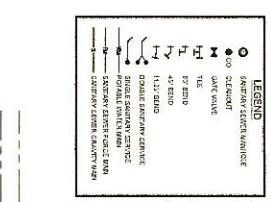
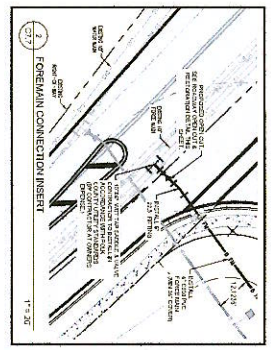
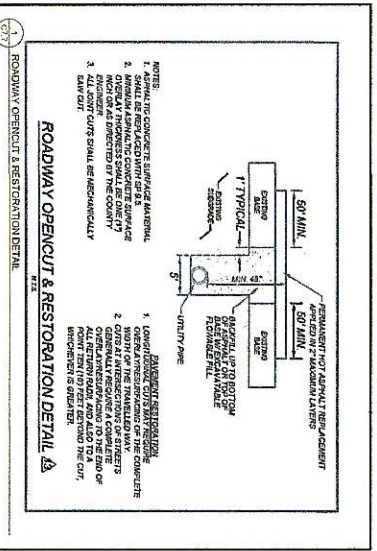
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
OVERALL SANITARY SEWER PLAN

811
 Call Before You Dig

DATE: _____
 PROJECT # 1185-01

NOT FOR CONSTRUCTION
 FOR REVIEW ONLY

DESIGNER: _____
 CHECKER: _____
 REVIEWER: _____
 DATE: _____



811
Know what's below.
Call before you dig.

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	4/20/21
2	REVISED FOR CONSTRUCTION	4/28/21
3	REVISED FOR CONSTRUCTION	5/11/21
4	REVISED FOR CONSTRUCTION	5/11/21
5	REVISED FOR CONSTRUCTION	5/11/21
6	REVISED FOR CONSTRUCTION	5/11/21
7	REVISED FOR CONSTRUCTION	5/11/21
8	REVISED FOR CONSTRUCTION	5/11/21
9	REVISED FOR CONSTRUCTION	5/11/21
10	REVISED FOR CONSTRUCTION	5/11/21
11	REVISED FOR CONSTRUCTION	5/11/21
12	REVISED FOR CONSTRUCTION	5/11/21
13	REVISED FOR CONSTRUCTION	5/11/21
14	REVISED FOR CONSTRUCTION	5/11/21
15	REVISED FOR CONSTRUCTION	5/11/21
16	REVISED FOR CONSTRUCTION	5/11/21
17	REVISED FOR CONSTRUCTION	5/11/21
18	REVISED FOR CONSTRUCTION	5/11/21
19	REVISED FOR CONSTRUCTION	5/11/21
20	REVISED FOR CONSTRUCTION	5/11/21
21	REVISED FOR CONSTRUCTION	5/11/21
22	REVISED FOR CONSTRUCTION	5/11/21
23	REVISED FOR CONSTRUCTION	5/11/21
24	REVISED FOR CONSTRUCTION	5/11/21
25	REVISED FOR CONSTRUCTION	5/11/21
26	REVISED FOR CONSTRUCTION	5/11/21
27	REVISED FOR CONSTRUCTION	5/11/21
28	REVISED FOR CONSTRUCTION	5/11/21
29	REVISED FOR CONSTRUCTION	5/11/21
30	REVISED FOR CONSTRUCTION	5/11/21

PROJECT # 1185.01

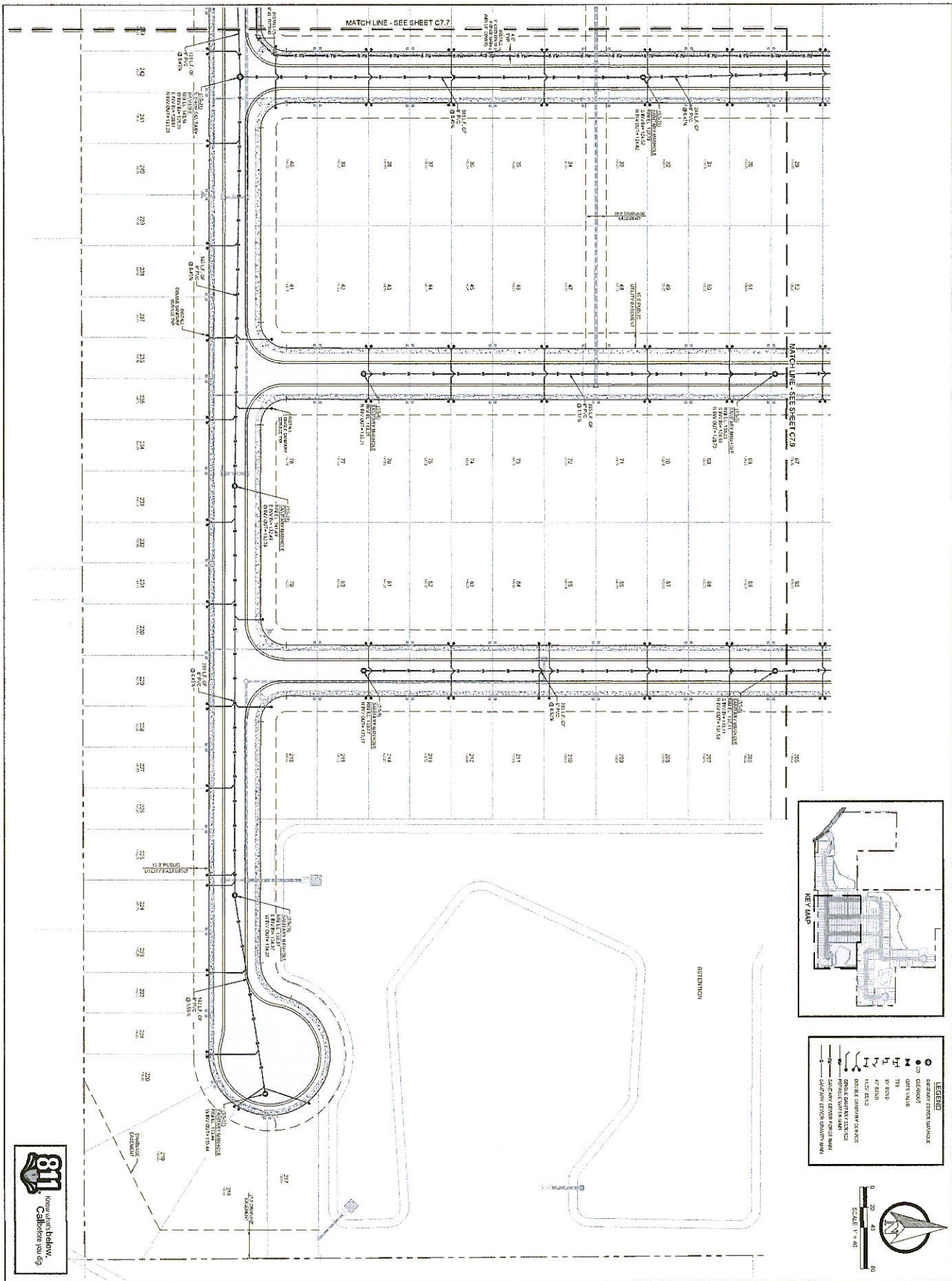
THOUSAND OAKS SUBDIVISION
1065 EAGLE LAKE LOOP ROAD
EAGLE LAKE, FL 33839
SANITARY SEWER PLAN

GADD & ASSOCIATES
CIVIL ENGINEERING & CONSULTING
1325 US HWY 98 S, SUITE 201
LAKE LAKE, FL 33801
PHONE: (813) 408-8779
Certificate of Authorization #03104
www.GaddCo.com

REVISIONS

NO.	DATE	DESCRIPTION
1	4/20/21	ISSUED FOR PERMITS
2	4/28/21	REVISED FOR CONSTRUCTION
3	5/11/21	REVISED FOR CONSTRUCTION
4	5/11/21	REVISED FOR CONSTRUCTION
5	5/11/21	REVISED FOR CONSTRUCTION
6	5/11/21	REVISED FOR CONSTRUCTION
7	5/11/21	REVISED FOR CONSTRUCTION
8	5/11/21	REVISED FOR CONSTRUCTION
9	5/11/21	REVISED FOR CONSTRUCTION
10	5/11/21	REVISED FOR CONSTRUCTION
11	5/11/21	REVISED FOR CONSTRUCTION
12	5/11/21	REVISED FOR CONSTRUCTION
13	5/11/21	REVISED FOR CONSTRUCTION
14	5/11/21	REVISED FOR CONSTRUCTION
15	5/11/21	REVISED FOR CONSTRUCTION
16	5/11/21	REVISED FOR CONSTRUCTION
17	5/11/21	REVISED FOR CONSTRUCTION
18	5/11/21	REVISED FOR CONSTRUCTION
19	5/11/21	REVISED FOR CONSTRUCTION
20	5/11/21	REVISED FOR CONSTRUCTION
21	5/11/21	REVISED FOR CONSTRUCTION
22	5/11/21	REVISED FOR CONSTRUCTION
23	5/11/21	REVISED FOR CONSTRUCTION
24	5/11/21	REVISED FOR CONSTRUCTION
25	5/11/21	REVISED FOR CONSTRUCTION
26	5/11/21	REVISED FOR CONSTRUCTION
27	5/11/21	REVISED FOR CONSTRUCTION
28	5/11/21	REVISED FOR CONSTRUCTION
29	5/11/21	REVISED FOR CONSTRUCTION
30	5/11/21	REVISED FOR CONSTRUCTION

PROJECT # 1185.01



THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
SANITARY SEWER PLAN

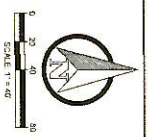
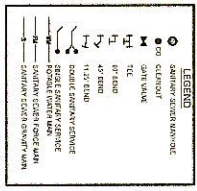
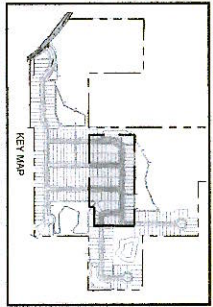
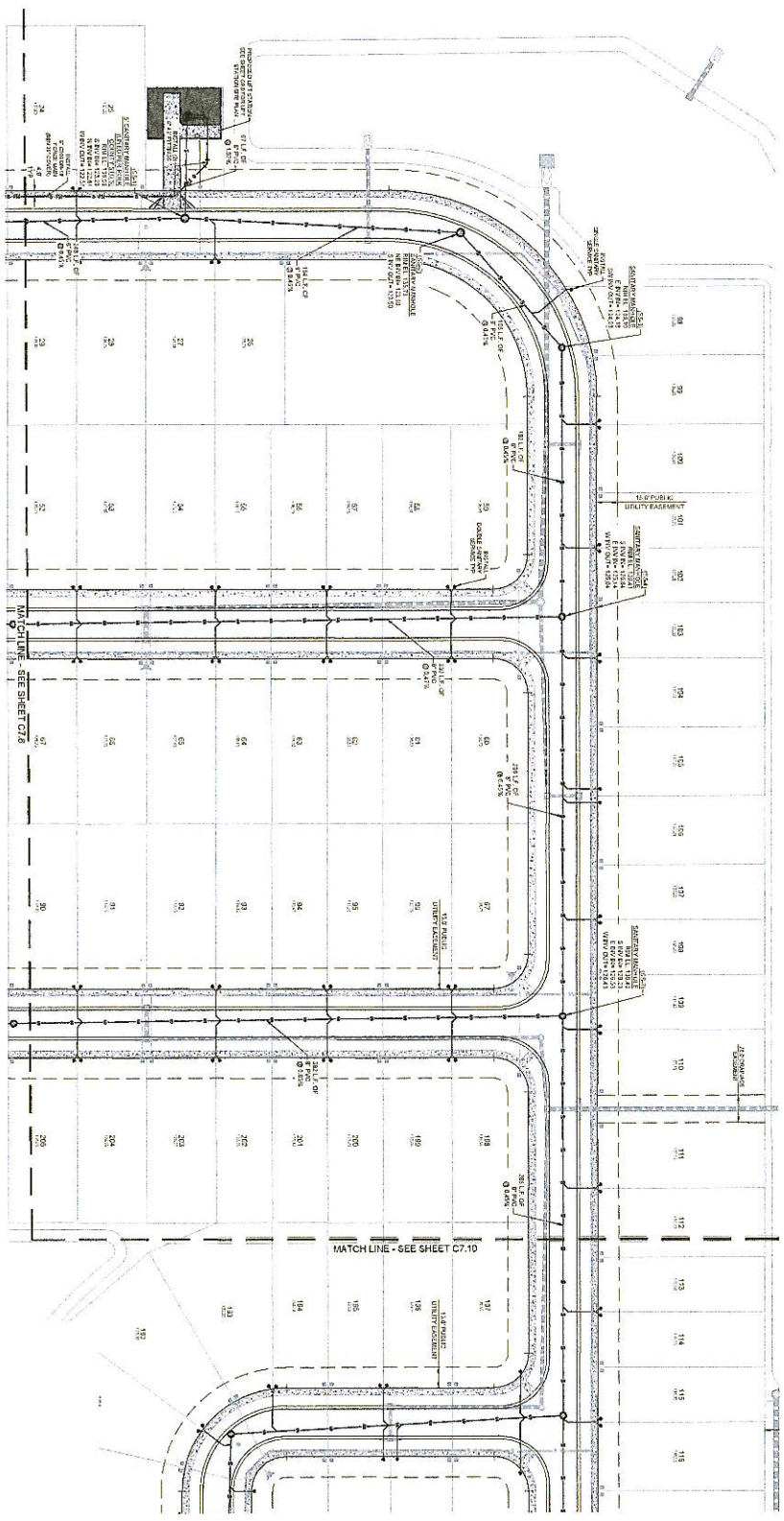
DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DESIGNED BY: _____
 PROJECT # 1185.01

NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 10225 US HWY 98 S, SUITE 201
 LAKELAND, FL 33851
 PHONE (888) 548-9079
 Certificate of Authorization #30194
 www.GaddCo.com

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



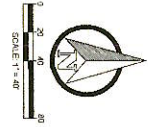
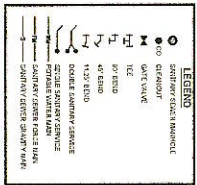
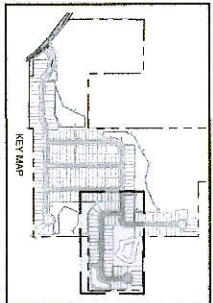
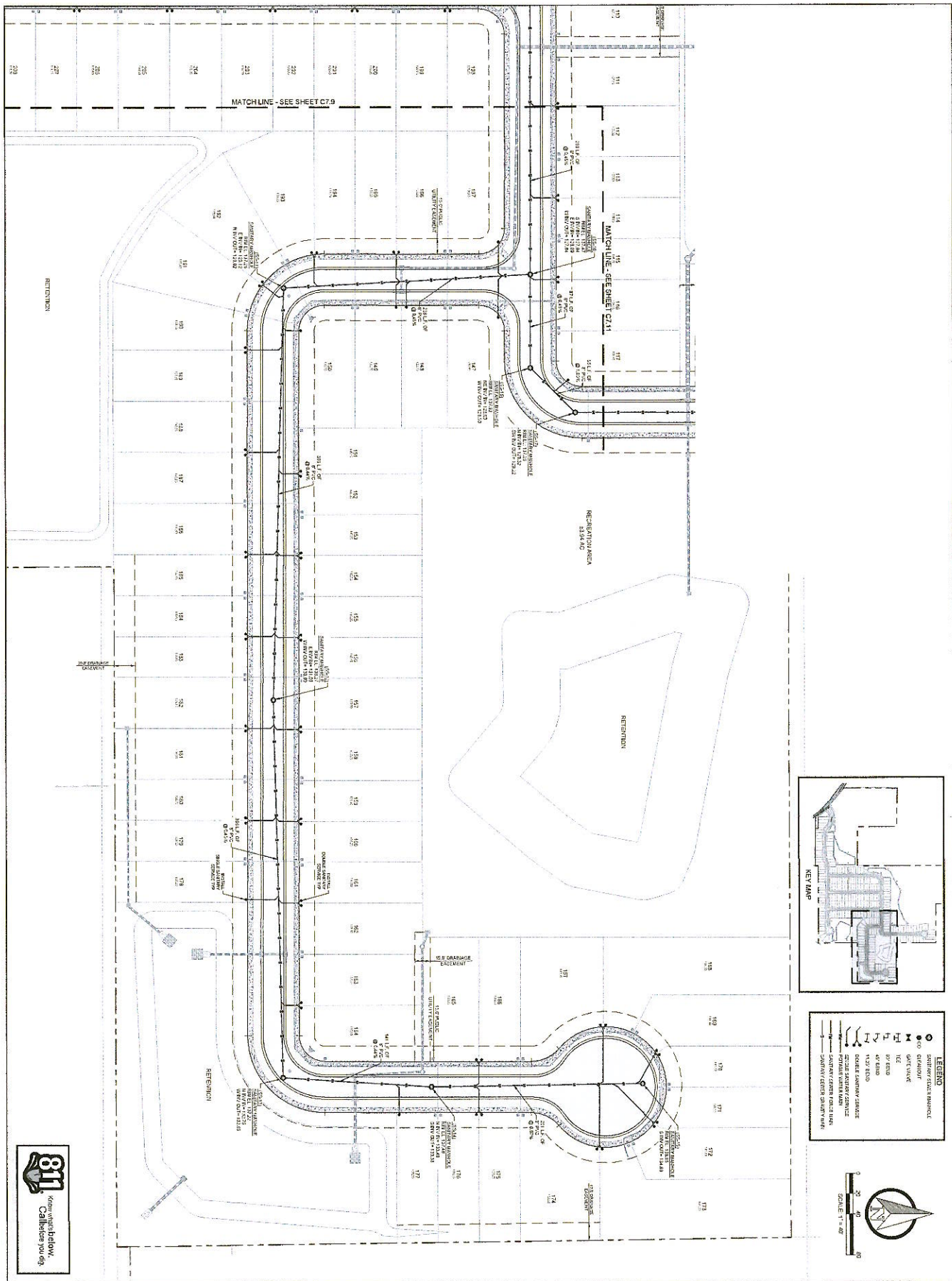
THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
SANITARY SEWER PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1822 US HWY 93 S, SUITE 201
 LAKE ALBU, FL 33001
 PHONE: (813) 989-0379
 Certificate of Authorization #20104
 www.GADD&A.com

DATE	BY	REVISIONS

DATE	BY	REVISIONS

ISSUED FOR: _____ DATE: _____ DRAWN BY: _____ CHECKED BY: _____ REVISIONS: NO. 1 BY: _____ NO. 2 BY: _____ NO. 3 BY: _____ NO. 4 BY: _____ NO. 5 BY: _____ NO. 6 BY: _____ NO. 7 BY: _____ NO. 8 BY: _____ NO. 9 BY: _____ NO. 10 BY: _____ NO. 11 BY: _____ NO. 12 BY: _____	NOT FOR CONSTRUCTION FOR REVIEW ONLY	ROBERT A. GADD, P.E. FLA. REG. NO. 12978	DATE: _____ PROJECT # 1465.01 C7.9
---	---	---	---



DATE	
PROJECT #	1185.01
REVISION	
NO. 1	AS SHOWN
NO. 2	AS SHOWN
NO. 3	AS SHOWN
NO. 4	AS SHOWN
NO. 5	AS SHOWN
NO. 6	AS SHOWN
NO. 7	AS SHOWN
NO. 8	AS SHOWN
NO. 9	AS SHOWN
NO. 10	AS SHOWN

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
SANITARY SEWER PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 98 S. SUITE 201
 LAKELAND, FL 33801
 PHONE: (850) 848-9879
 Certificate of Authorization #30184
 www.Gadd521.com

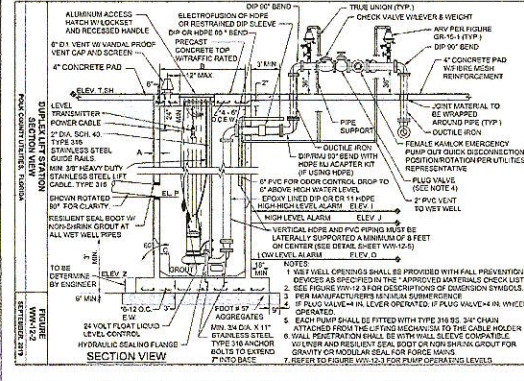
DATE	NO. 1
PROJECT #	1185.01
REVISION	
NO. 1	AS SHOWN
NO. 2	AS SHOWN
NO. 3	AS SHOWN
NO. 4	AS SHOWN
NO. 5	AS SHOWN
NO. 6	AS SHOWN
NO. 7	AS SHOWN
NO. 8	AS SHOWN
NO. 9	AS SHOWN
NO. 10	AS SHOWN

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
1. PER PIPE MANUFACTURERS REQUIREMENTS			
2. TOP OF PIPE STATION SHALL BE NO LOWER THAN THE 25 YEAR FLOOD HIGH ELEVATION. THE BOTTOM OF STATION CONTROL AND ELECTRICAL ROOMS SHALL BE NO LOWER THAN THE 100 YEAR FLOOD HIGH ELEVATION. THE TOP OF THE WELL SHALL BE NO LOWER THAN THE 25 YEAR FLOOD HIGH ELEVATION.			
3. DESIGN, CONSTRUCTION AND ELEVATION OF THE WELL SHALL BE AS SHOWN ON THE DRAWING.			

SECTION	DESCRIPTION	ELEVATION
SECTION 1	TOP OF PIPE	111.12
SECTION 2	TOP OF WELL	112.52
SECTION 3	TOP OF ELECTRICAL ROOM	113.52
SECTION 4	TOP OF CONTROL ROOM	114.52
SECTION 5	TOP OF CONCRETE PAD	115.52
SECTION 6	TOP OF CONCRETE PAD	116.52
SECTION 7	TOP OF CONCRETE PAD	117.52
SECTION 8	TOP OF CONCRETE PAD	118.52
SECTION 9	TOP OF CONCRETE PAD	119.52
SECTION 10	TOP OF CONCRETE PAD	120.52
SECTION 11	TOP OF CONCRETE PAD	121.52
SECTION 12	TOP OF CONCRETE PAD	122.52
SECTION 13	TOP OF CONCRETE PAD	123.52
SECTION 14	TOP OF CONCRETE PAD	124.52
SECTION 15	TOP OF CONCRETE PAD	125.52
SECTION 16	TOP OF CONCRETE PAD	126.52
SECTION 17	TOP OF CONCRETE PAD	127.52
SECTION 18	TOP OF CONCRETE PAD	128.52
SECTION 19	TOP OF CONCRETE PAD	129.52
SECTION 20	TOP OF CONCRETE PAD	130.52

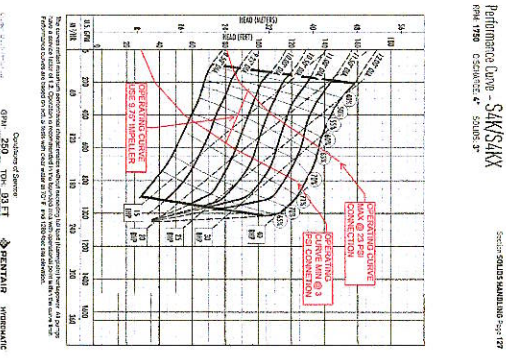
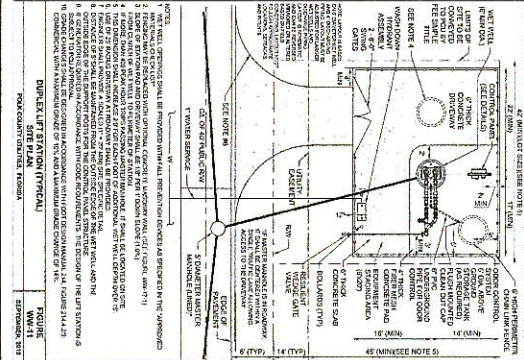
GENERAL NOTES:

1. ALL EXTERIOR SURFACES SHALL BE PAINTED WITH COATS OF EPIDERMIC GROUT.
2. EXTERIOR OF WELL SHALL RESIST THREE CORROSIVE SPOXY COATINGS.
3. WATER VALVES ARE TO BE USED WITH APPROVED APPROVAL.
4. ALL LOCATIONS WHERE PRESSURE OR LEAKAGE OF WATER SHALL BE MADE WATER TIGHT BY USE OF RUBBER TYPE PREPARED BY HOKUSHEIM GROUP.
5. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES EXCEPT FLOOD CHAINS IN THE WELL.
6. THE WELL COVER SHALL BE OF QUALITY TO WITHSTAND THAT IT SHALL BE PROTECTED BY VERTICAL REINFORCING BARS. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
7. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
8. OPERATING CONDITIONS SHALL BE: 20° CPM AT 21° FEET DIA.
9. ALL HANDRAILS IN THE WELL SHALL BE 316 STAINLESS STEEL.
10. ALL LOCATIONS WHERE PRESSURE OR LEAKAGE OF WATER SHALL BE MADE WATER TIGHT BY USE OF RUBBER TYPE PREPARED BY HOKUSHEIM GROUP.
11. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES EXCEPT FLOOD CHAINS IN THE WELL.
12. ALL CONDUITS IN THE WELL SHALL BE 316 STAINLESS STEEL.
13. ALL CONDUITS IN THE WELL SHALL BE 316 STAINLESS STEEL.
14. CHECK VALVE ASH SHALL BE LOCATED WITH THE SAME CONNECTION AS ALL MAIN ON THE LEFT SIDE OF VALVE.
15. ALL LATERALS SHALL BE IN ACCORDANCE WITH THE APPROVED MATERIALS.



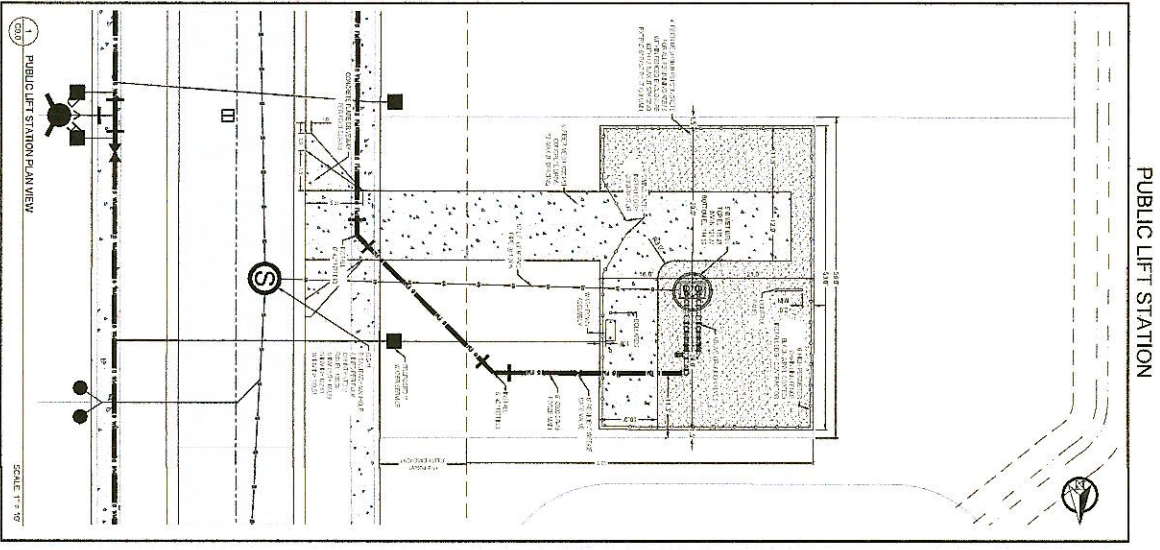
GENERAL NOTES (CONTINUED):

16. ALL HANDRAILS IN THE WELL SHALL BE 316 STAINLESS STEEL.
17. ALL CONDUITS IN THE WELL SHALL BE 316 STAINLESS STEEL.
18. CHECK VALVE ASH SHALL BE LOCATED WITH THE SAME CONNECTION AS ALL MAIN ON THE LEFT SIDE OF VALVE.
19. ALL LATERALS SHALL BE IN ACCORDANCE WITH THE APPROVED MATERIALS.
20. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
21. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
22. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
23. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
24. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
25. THE WELL COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER. THE COVER SHALL BE MADE OF PRECAST CONCRETE WITH A MINIMUM THICKNESS OF 4" AND SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.



LIFT STATION NOTES:

1. CONTRACTOR SHALL FINISH AND CONSTRUCT CLOSE-OUT DOCUMENTATION AS REQUIRED BY POLK COUNTY UTILITY CODE AS ADOPTED BY CITY OF EAGLE LAKE FOR PROPOSED LIFT STATION.



REVISIONS

NO.	DATE	DESCRIPTION
1	04/29/22	ISSUED FOR CONSTRUCTION
2	04/29/22	ISSUED FOR CONSTRUCTION
3	04/29/22	ISSUED FOR CONSTRUCTION
4	04/29/22	ISSUED FOR CONSTRUCTION
5	04/29/22	ISSUED FOR CONSTRUCTION
6	04/29/22	ISSUED FOR CONSTRUCTION
7	04/29/22	ISSUED FOR CONSTRUCTION
8	04/29/22	ISSUED FOR CONSTRUCTION
9	04/29/22	ISSUED FOR CONSTRUCTION
10	04/29/22	ISSUED FOR CONSTRUCTION

THOUSAND OAKS SUBDIVISION

1085 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839

LIFT STATION SITE PLAN

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING

1625 US HWY 99 S SUITE 201
 LAKE WORTH, FL 33454
 PHONE: (888) 940-9979
 Website: www.gaddcivil.com

PROJECT #1185-01

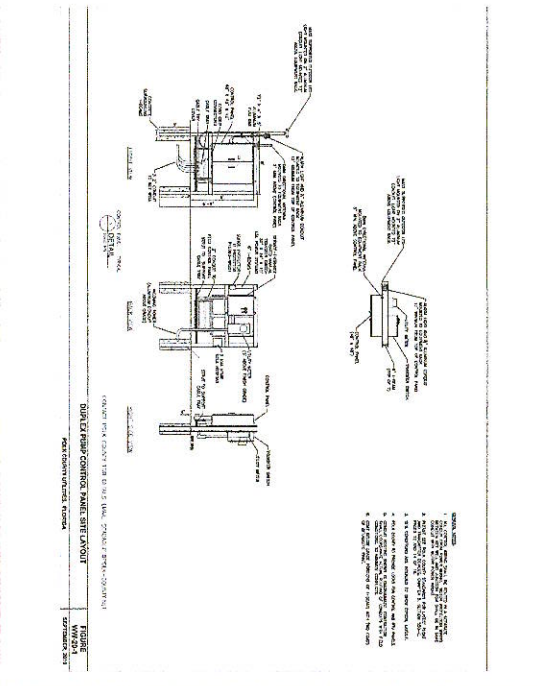
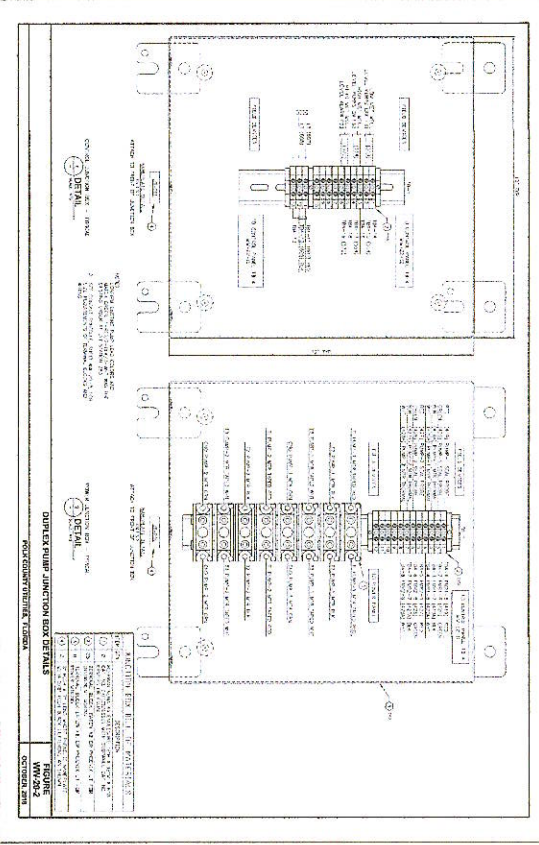
C9.0

DATE: _____

FOR CONSTRUCTION: _____

FOR CONSTRUCTION: _____

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	1" DIA. RIGID PVC	11	1" DIA. RIGID PVC
2	1" DIA. RIGID PVC	12	1" DIA. RIGID PVC
3	1" DIA. RIGID PVC	13	1" DIA. RIGID PVC
4	1" DIA. RIGID PVC	14	1" DIA. RIGID PVC
5	1" DIA. RIGID PVC	15	1" DIA. RIGID PVC
6	1" DIA. RIGID PVC	16	1" DIA. RIGID PVC
7	1" DIA. RIGID PVC	17	1" DIA. RIGID PVC
8	1" DIA. RIGID PVC	18	1" DIA. RIGID PVC
9	1" DIA. RIGID PVC	19	1" DIA. RIGID PVC
10	1" DIA. RIGID PVC	20	1" DIA. RIGID PVC
21	1" DIA. RIGID PVC	22	1" DIA. RIGID PVC
23	1" DIA. RIGID PVC	24	1" DIA. RIGID PVC
25	1" DIA. RIGID PVC	26	1" DIA. RIGID PVC
27	1" DIA. RIGID PVC	28	1" DIA. RIGID PVC
29	1" DIA. RIGID PVC	30	1" DIA. RIGID PVC
31	1" DIA. RIGID PVC	32	1" DIA. RIGID PVC
33	1" DIA. RIGID PVC	34	1" DIA. RIGID PVC
35	1" DIA. RIGID PVC	36	1" DIA. RIGID PVC
37	1" DIA. RIGID PVC	38	1" DIA. RIGID PVC
39	1" DIA. RIGID PVC	40	1" DIA. RIGID PVC
41	1" DIA. RIGID PVC	42	1" DIA. RIGID PVC
43	1" DIA. RIGID PVC	44	1" DIA. RIGID PVC
45	1" DIA. RIGID PVC	46	1" DIA. RIGID PVC
47	1" DIA. RIGID PVC	48	1" DIA. RIGID PVC
49	1" DIA. RIGID PVC	50	1" DIA. RIGID PVC
51	1" DIA. RIGID PVC	52	1" DIA. RIGID PVC
53	1" DIA. RIGID PVC	54	1" DIA. RIGID PVC
55	1" DIA. RIGID PVC	56	1" DIA. RIGID PVC
57	1" DIA. RIGID PVC	58	1" DIA. RIGID PVC
59	1" DIA. RIGID PVC	60	1" DIA. RIGID PVC
61	1" DIA. RIGID PVC	62	1" DIA. RIGID PVC
63	1" DIA. RIGID PVC	64	1" DIA. RIGID PVC
65	1" DIA. RIGID PVC	66	1" DIA. RIGID PVC
67	1" DIA. RIGID PVC	68	1" DIA. RIGID PVC
69	1" DIA. RIGID PVC	70	1" DIA. RIGID PVC
71	1" DIA. RIGID PVC	72	1" DIA. RIGID PVC
73	1" DIA. RIGID PVC	74	1" DIA. RIGID PVC
75	1" DIA. RIGID PVC	76	1" DIA. RIGID PVC
77	1" DIA. RIGID PVC	78	1" DIA. RIGID PVC
79	1" DIA. RIGID PVC	80	1" DIA. RIGID PVC
81	1" DIA. RIGID PVC	82	1" DIA. RIGID PVC
83	1" DIA. RIGID PVC	84	1" DIA. RIGID PVC
85	1" DIA. RIGID PVC	86	1" DIA. RIGID PVC
87	1" DIA. RIGID PVC	88	1" DIA. RIGID PVC
89	1" DIA. RIGID PVC	90	1" DIA. RIGID PVC
91	1" DIA. RIGID PVC	92	1" DIA. RIGID PVC
93	1" DIA. RIGID PVC	94	1" DIA. RIGID PVC
95	1" DIA. RIGID PVC	96	1" DIA. RIGID PVC
97	1" DIA. RIGID PVC	98	1" DIA. RIGID PVC
99	1" DIA. RIGID PVC	100	1" DIA. RIGID PVC



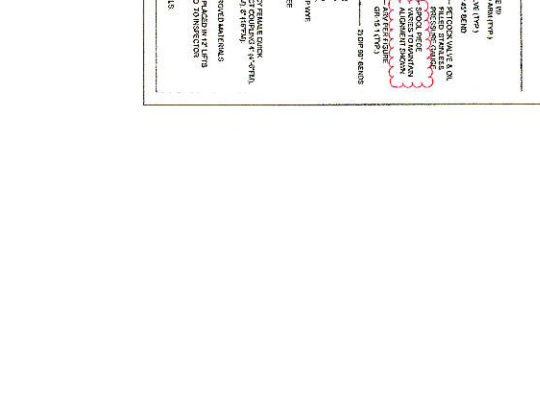
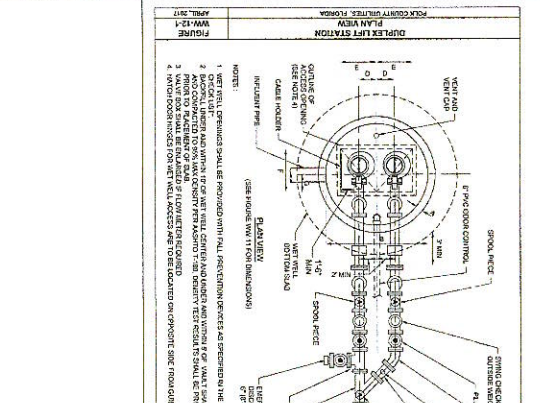
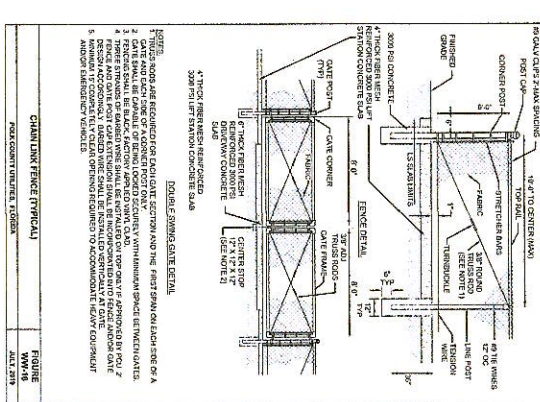
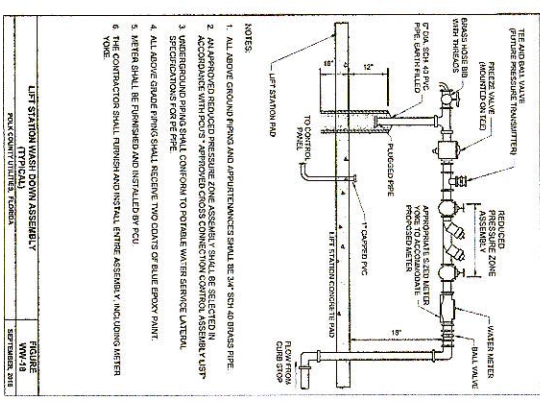
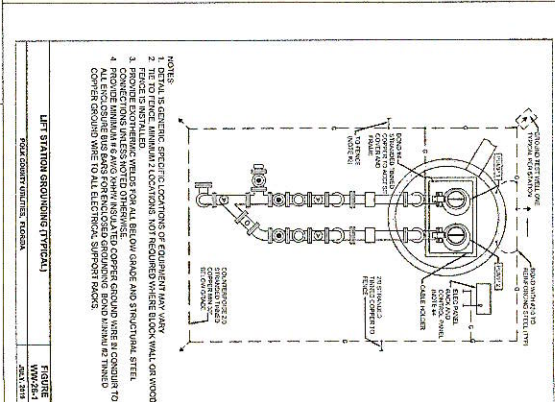
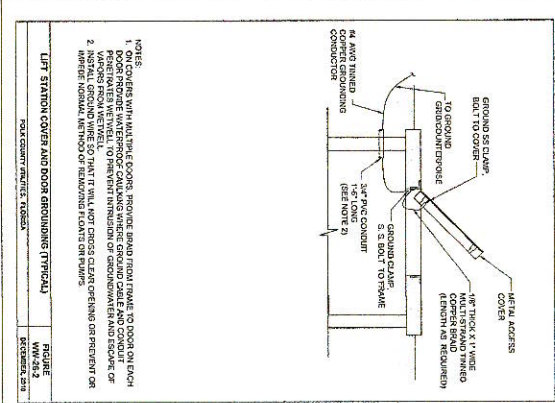
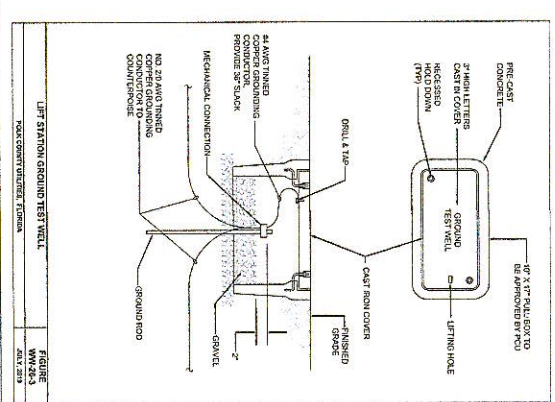
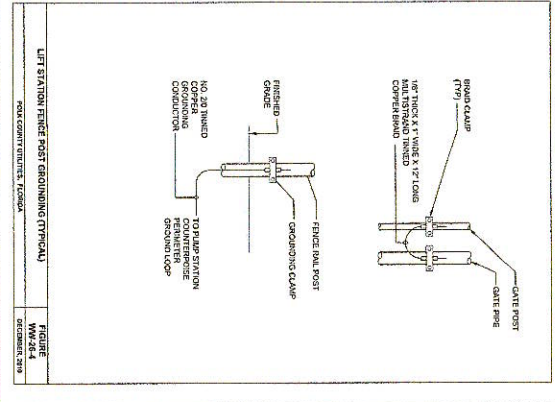
PROJECT: C9.1
 DATE: 4/29/21
 NO FOR CONSTRUCTION
 COMMENCING DATE

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITS	4/29/21	WVZ/STW
2	FOR CONSTRUCTION	4/29/21	WVZ/STW

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 32839
LIFT STATION DETAILS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1922 US HWY 98 S, SUITE 201
 LAKELAND, FL 33601
 PHONE (863) 649-2572
 Certificate of Authorization #20104
 www.GaddCA.com

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITS	4/29/21	WVZ/STW
2	FOR CONSTRUCTION	4/29/21	WVZ/STW



NO.	DATE	DESCRIPTION
1	07/11/2011	ISSUED FOR CONSTRUCTION
2	07/11/2011	FOR REVISION ONLY

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1055 EAGLE LAKE LOOP ROAD, SUITE 201
 EAGLE LAKE, FL 32839
 PHONE: (813) 949-9978
 FAX: (813) 949-9979
 www.Gadd&A.com

THOUSAND OAKS SUBDIVISION
 1055 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 32839
LIFT STATION DETAILS

811
 Call before you dig
 Callers 811.org

DESIGNED BY: GADD P.E.
 DRAWN BY: GADD P.E.
 DATE: 07/11/2011
C9.2

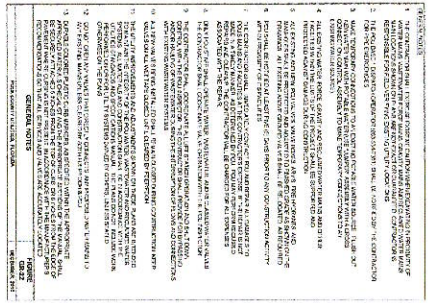


FIGURE 1
 CONNECTION OF PIPE TO MANHOLE

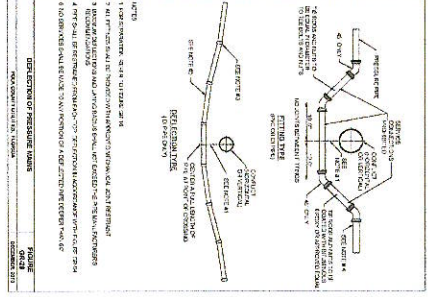


FIGURE 2
 CONNECTION OF PIPE TO MANHOLE (BELL AND GASKET)

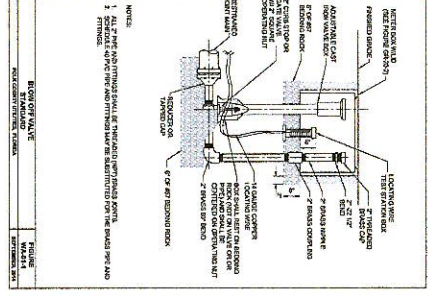


FIGURE 3
 CONNECTION OF PIPE TO MANHOLE (FLANGE)

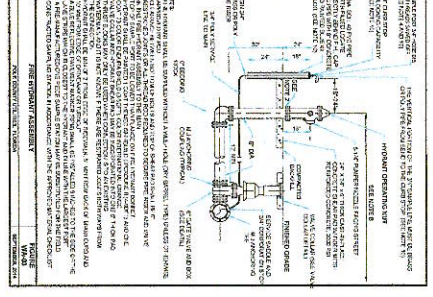


FIGURE 4
 CONNECTION OF PIPE TO MANHOLE (WELDED)

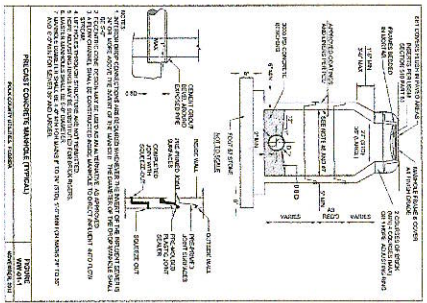


FIGURE 5
 CONNECTION OF PIPE TO MANHOLE (CONCRETE SLEEVE)

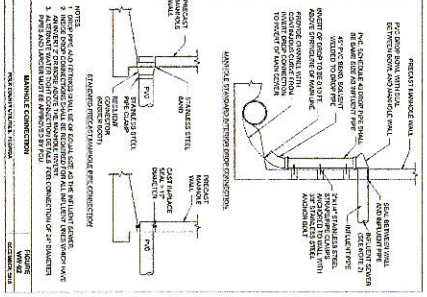


FIGURE 6
 CONNECTION OF PIPE TO MANHOLE (CAST-IN-PLACE)

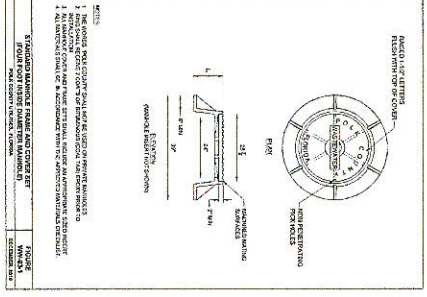


FIGURE 7
 CONNECTION OF PIPE TO MANHOLE (PRECAST CONCRETE)

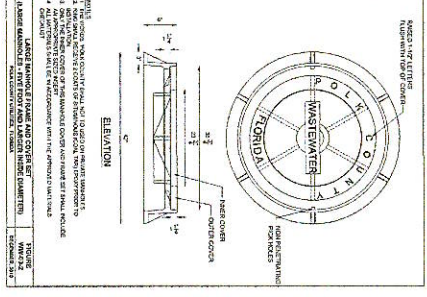


FIGURE 8
 CONNECTION OF PIPE TO MANHOLE (PRECAST CONCRETE WITH GASKET)

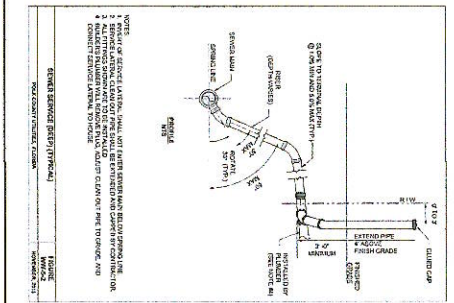


FIGURE 9
 CONNECTION OF PIPE TO MANHOLE (PRECAST CONCRETE WITH GASKET)



FIGURE 10
 CONNECTION OF PIPE TO MANHOLE (PRECAST CONCRETE WITH GASKET)



FIGURE 11
 CONNECTION OF PIPE TO MANHOLE (PRECAST CONCRETE WITH GASKET)



FIGURE 12
 CONNECTION OF PIPE TO MANHOLE (PRECAST CONCRETE WITH GASKET)

NOTES:
 1. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
 A. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 1.
 B. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 2.
 C. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 3.
 2. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
 A. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 1.
 B. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 2.
 C. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 3.
 3. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
 A. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 1.
 B. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 2.
 C. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SEVENTH EDITION, 2003, SECTION 05110, PART 3.

NO.	DATE	DESCRIPTION
1	04/29/11	ISSUED FOR PERMIT
2	05/10/11	REVISED PER COMMENTS
3	05/10/11	REVISED PER COMMENTS
4	05/10/11	REVISED PER COMMENTS

THOUSAND OAKS SUBDIVISION
 1085 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GENERAL UTILITY DETAILS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1625 US HWY 98 S, SUITE 201
 LAKELAND, FL 33801
 PHONE: 888-338-3148
 Certificate of Authorization #30164
 www.GaddCo.com

NO.	DATE	DESCRIPTION
1	04/29/11	ISSUED FOR PERMIT
2	05/10/11	REVISED PER COMMENTS
3	05/10/11	REVISED PER COMMENTS
4	05/10/11	REVISED PER COMMENTS

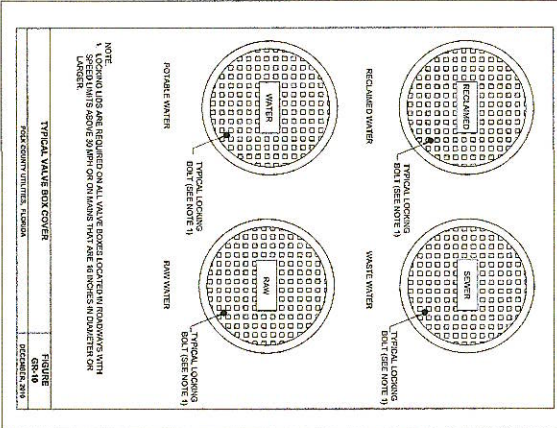
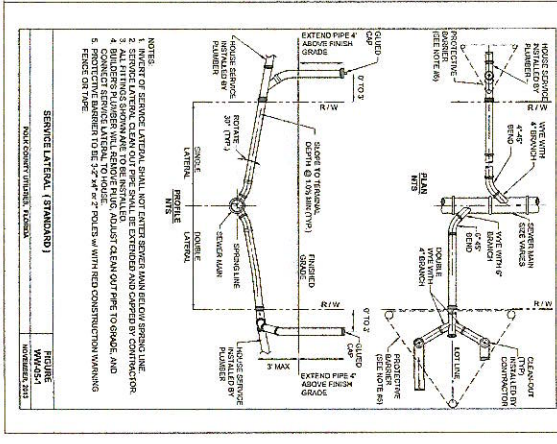
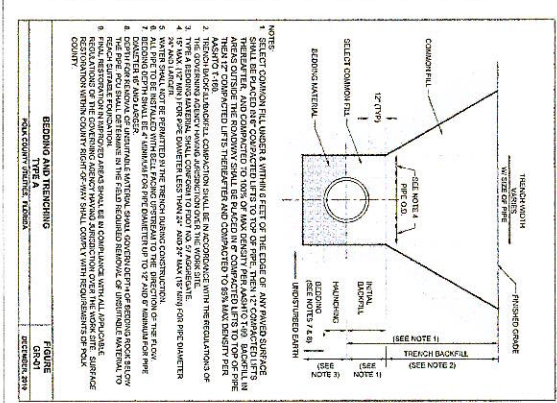


FIGURE 10
 TYPICAL VALVE BOX COVERS
 NOT TO SCALE

RECLAIMED WATER
WASTEWATER
TYPICAL LOCKING BOX (SEE NOTE 3)
TYPICAL LOCKING BOX (SEE NOTE 1)

NOTE: COVERS ARE REQUIRED ON ALL VALVE BOXES LOCATED IN ROWS WITHIN THE TRENCH. COVERS SHALL BE 30" DIA. WITH 12" DIA. HOLES FOR 8" DIA. VALVES. COVERS SHALL BE 30" DIA. WITH 12" DIA. HOLES FOR 8" DIA. VALVES.

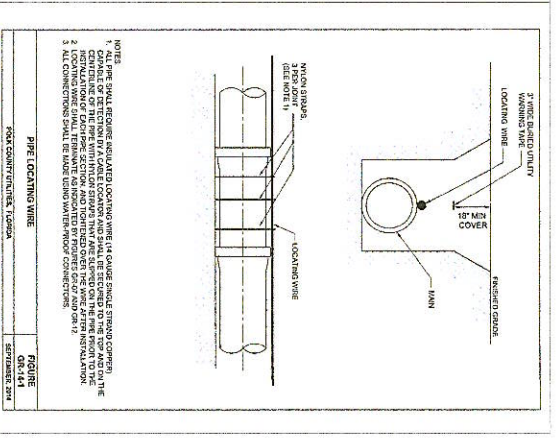
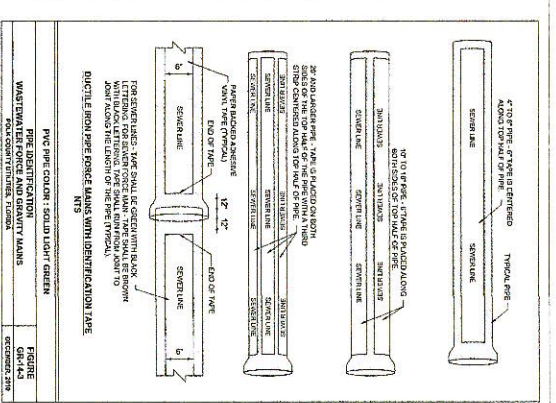


GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND RECORD THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
12. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

FIGURE 13
 MINIMUM SEPARATION REQUIREMENTS
 NOT TO SCALE

TYPE	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"	36"	42"	48"
TYPE	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"	36"	42"	48"
MINIMUM SEPARATION	12"	18"	24"	30"	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"



GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND RECORD THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
12. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

FIGURE 16
 GENERAL NOTES
 NOT TO SCALE

FIGURE 17
 MINIMUM SEPARATION REQUIREMENTS
 NOT TO SCALE

FIGURE 18
 BEDDING AND TRENCHING
 NOT TO SCALE

FIGURE 19
 SERVICE LATERAL (STANDARD)
 NOT TO SCALE

FIGURE 20
 PIPE IDENTIFICATION
 NOT TO SCALE

FIGURE 21
 PIPE LOCATION
 NOT TO SCALE

REVISIONS

NO.	DATE	DESCRIPTION
1	04/23/21	ISSUE FOR CONSTRUCTION

THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
GENERAL UTILITY DETAILS

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 2025 US HIGHWAY 98 S. SUITE 207
 WINTER HAVEN, FL 33884
 PHONE: (888) 846-9676
 FAX: (888) 846-9677
 www.GaddCivil.com

PROJECT # 1165-01

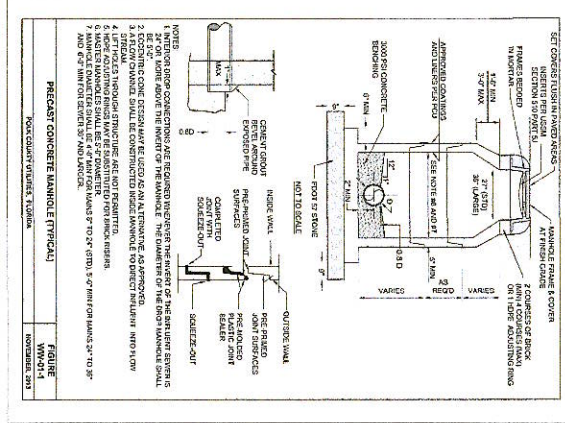
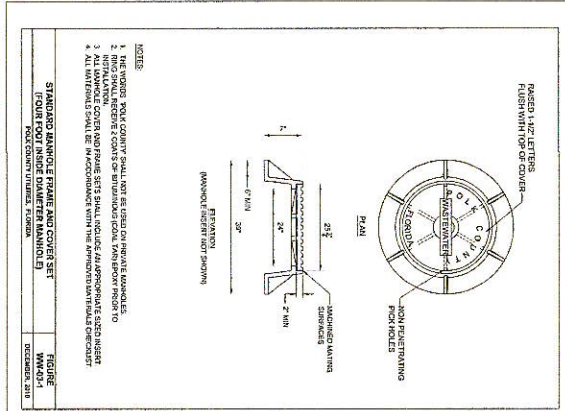
C9.5

DATE

REVISIONS

NOT FOR CONSTRUCTION
 NOT FOR REVISION ONLY

811
 Know what's below.
 Call before you dig.



THOUSAND OAKS SUBDIVISION
 1065 EAGLE LAKE LOOP ROAD
 EAGLE LAKE, FL 33839
 GENERAL UTILITY DETAILS

NO.	DATE	BY	CHKD.	REVISIONS
1	12/18/18	JLH	JLH	ISSUED FOR PERMITS
2	04/29/21	JLH	JLH	REVISED PER COMMENTS
3	04/29/21	JLH	JLH	REVISED PER COMMENTS
4	04/29/21	JLH	JLH	REVISED PER COMMENTS

NOT FOR CONSTRUCTION
 FOR REFERENCE ONLY

DESIGNED & ENGINEERED BY
 F.L.A. & E. INC. 10/18/18

DATE
C9.6

PROJECT # 145-01

GADD & ASSOCIATES
 CIVIL ENGINEERING & CONSULTING
 1025 US HWY 68 S, SUITE 231
 LAKELAND, FL 33851
 PHONE: (888) 846-9279
 Certificate of Authorization #32184
 www.GaddCivil.com

NO.	DATE	BY	CHKD.	REVISIONS

EXHIBIT C

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT 702

TO: ONE THOUSAND OAKS, LLC.

4900 DUNDEE ROAD

WINTER HAVEN, FL 33884

PROJECT: ONE THOUSAND OAKS, LLC.
PROJECT PROJECT #

APPLICATION NO: 1

APPLICATION DATE:

PERIOD TO:

FROM: BLUE OX ENTERPRISES, LLC
PO BOX 520986
LONGWOOD, FL 32752

VIA ENGINEER:

RODNEY A. GADD, P.E.
1925 US HWY 98 S., SUITE 201
LAKELAND, FL 33801

CONTRACT FOR:

CONTRACTOR'S APPLICATION FOR PAYMENT

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Change Orders Approved		
Previous months by owner		
TOTAL	-	-
Approved this month		
TOTALS	\$ -	\$ -
NET CHANGE BY CHANGE ORDERS	\$ -	\$ 0.00

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information, and belief, the work covered by this Application for Payment has been completed in compliance with the Contract Documents, that all amounts have been paid by the Contractor for the Work for which previous Certificates for Payment were issued and payments received from the Owner, and the current payment shown herein is now due.

CONTRACTOR:

By: _____ Date: January 0, 1900

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

- 1. ORIGINAL CONTRACT SUM \$ 4,807,745.97
- 2. Net Change by Change Orders 0.00
- 3. CONTRACT SUM TO DATE \$ 4,807,745.97
- 4. TOTAL COMPLETED AND STORED TO DATE \$ -
- 5. RETAINAGE:

10% of Completed & Stored Work \$ -

TOTAL RETAINAGE \$ -

6. TOTAL EARNED LESS RETAINAGE \$ -

7. LESS PREVIOUS CERTIFICATES FOR PAYMENT \$ -

8. CURRENT PAYMENT DUE \$ -

9. BALANCE TO FINISH, PLUS RETAINAGE \$ 4,807,745.97

State of Florida County of Seminole
Subscribed and sworn before me this day of January 0, 1900
Notary Public
My Commission Expires

ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on the on-site observations and the data comprising the above application, the Engineer certifies to the Owner to the best of the Engineer's knowledge, information and belief, the work has progressed as indicated, the quality of the work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ -
(Attach explanation if amount certified differs from the amount applied for)
ENGINEER: _____
By: _____ Date: _____

This certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment is without prejudice to any rights of the Owner or Contractor under this Contract.

CONTINUATION SHEET

AIA Document G703, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column 1 on Contracts where variable retainage for line items may apply.

APPLICATION NUMBER:
APPLICATION DATE:
PERIOD TO:

A LINE NO.	B DESCRIPTION OF WORK	QTY	UNITS	PRICE	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE	H PERCENTAGE COMPLETE (G/C)	I BALANCE TO FINISH (C - G)	J RETAINAGE
						FROM PREVIOUS APPLICATIONS	THIS PERIOD					
1	SANITARY											
2	8" PVC 0-6 SDR 26	1912	LF	\$ 22.55	\$ 43,115.60	-	-	-	0.00	0%	43,115.60	-
3	8" PVC 6-8 SDR 26	1329	LF	\$ 23.96	\$ 31,842.84	-	-	-	0.00	0%	31,842.84	-
4	8" PVC 8-10 SDR 26	1422	LF	\$ 26.96	\$ 38,337.12	-	-	-	0.00	0%	38,337.12	-
5	8" PVC 10-12 SDR 26	1204	LF	\$ 29.96	\$ 36,071.84	-	-	-	0.00	0%	36,071.84	-
6	8" PVC 12-14 SDR 26	1111	LF	\$ 34.46	\$ 38,285.06	-	-	-	0.00	0%	38,285.06	-
7	8" PVC 14-16 SDR 26	546	LF	\$ 38.44	\$ 20,988.24	-	-	-	0.00	0%	20,988.24	-
8	8" PVC 14-16 DR 18	80	LF	\$ 44.87	\$ 3,589.60	-	-	-	0.00	0%	3,589.60	-
9	8" PVC 16-18 SDR 26	188	LF	\$ 44.11	\$ 8,292.68	-	-	-	0.00	0%	8,292.68	-
10	MANHOLE 0-6	12	EA	\$ 4,180.23	\$ 50,162.76	-	-	-	0.00	0%	50,162.76	-
11	MANHOLE 6-8	2	EA	\$ 4,724.21	\$ 9,448.42	-	-	-	0.00	0%	9,448.42	-
12	MANHOLE 8-10	7	EA	\$ 5,367.69	\$ 37,573.83	-	-	-	0.00	0%	37,573.83	-
13	MANHOLE 10-12	1	EA	\$ 5,854.08	\$ 5,854.08	-	-	-	0.00	0%	5,854.08	-
14	MANHOLE 12-14	4	EA	\$ 6,372.18	\$ 25,488.72	-	-	-	0.00	0%	25,488.72	-
15	MANHOLE 14-16	2	EA	\$ 6,868.21	\$ 13,736.42	-	-	-	0.00	0%	13,736.42	-
16	MANHOLE 16-18	1	EA	\$ 11,651.76	\$ 11,651.76	-	-	-	0.00	0%	11,651.76	-
17	MANHOLE LINED 12-14	1	EA	\$ 18,019.93	\$ 18,019.93	-	-	-	0.00	0%	18,019.93	-
18	SINGLE LATERAL	30	EA	\$ 916.28	\$ 27,488.40	-	-	-	0.00	0%	27,488.40	-
19	DOUBLE LATERAL	117	EA	\$ 1,044.68	\$ 122,227.56	-	-	-	0.00	0%	122,227.56	-
20	6" PVC FORCEMAN	1940	LF	\$ 18.55	\$ 35,987.00	-	-	-	0.00	0%	35,987.00	-
21	6" PLUG VALVE	1	EA	\$ 1,305.87	\$ 1,305.87	-	-	-	0.00	0%	1,305.87	-
22	FORCEMAIN FITTINGS	1	LS	\$ 14,365.44	\$ 14,365.44	-	-	-	0.00	0%	14,365.44	-
23	10" x 6" WEI TAP	1	EA	\$ 4,259.37	\$ 4,259.37	-	-	-	0.00	0%	4,259.37	-
24	LIFT STATION	1	LS	\$ 307,526.19	\$ 307,526.19	-	-	-	0.00	0%	307,526.19	-
25	AIR RELEASE VALVE	1	EA	\$ 5,370.01	\$ 5,370.01	-	-	-	0.00	0%	5,370.01	-
26	CLEAN SANITARY LINES	7792	LF	\$ 1.80	\$ 14,025.60	-	-	-	0.00	0%	14,025.60	-
27	TEST SANITARY LINES	7792	LF	\$ 1.44	\$ 11,220.48	-	-	-	0.00	0%	11,220.48	-
28	TEST FORCEMAIN LINES	1940	LF	\$ 1.44	\$ 2,793.60	-	-	-	0.00	0%	2,793.60	-
29	T.V. SANITARY LINES	7792	LF	\$ 1.98	\$ 15,428.16	-	-	-	0.00	0%	15,428.16	-
30	DROP CONNECTION	1	EA	\$ 1,328.58	\$ 1,328.58	-	-	-	0.00	0%	1,328.58	-
31	WELL POINTS	7792	LF	\$ 12.25	\$ 95,452.00	-	-	-	0.00	0%	95,452.00	-
32	SANITARY TOTAL										1,051,237.16	
33	STORM											
34	15" HDPE	420	LF	\$ 29.48	\$ 12,381.60	-	-	-	0.00	0%	12,381.60	-
35	18" HDPE	1140	LF	\$ 35.79	\$ 40,800.60	-	-	-	0.00	0%	40,800.60	-
36	24" HDPE	2780	LF	\$ 49.71	\$ 138,193.80	-	-	-	0.00	0%	138,193.80	-
37	30" HDPE	1260	LF	\$ 72.19	\$ 90,959.40	-	-	-	0.00	0%	90,959.40	-
38	36" HDPE	500	LF	\$ 79.00	\$ 39,500.00	-	-	-	0.00	0%	39,500.00	-
39	14" X 23" ERCP	112	LF	\$ 32.32	\$ 3,619.84	-	-	-	0.00	0%	3,619.84	-
40	19" X 30" ERCP	24	LF	\$ 79.63	\$ 1,911.12	-	-	-	0.00	0%	1,911.12	-
41	STORM MANHOLE	6	EA	\$ 2,840.60	\$ 17,043.60	-	-	-	0.00	0%	17,043.60	-
42	J MANHOLE	2	EA	\$ 4,050.45	\$ 8,100.90	-	-	-	0.00	0%	8,100.90	-
43	15" MES	2	EA	\$ 772.86	\$ 1,545.72	-	-	-	0.00	0%	1,545.72	-
44	18" MES	3	EA	\$ 865.95	\$ 2,597.85	-	-	-	0.00	0%	2,597.85	-
45	24" MES	10	EA	\$ 1,106.69	\$ 11,066.90	-	-	-	0.00	0%	11,066.90	-
46	30" MES	5	EA	\$ 2,186.54	\$ 10,932.70	-	-	-	0.00	0%	10,932.70	-
47	36" MES	2	EA	\$ 2,678.31	\$ 5,356.62	-	-	-	0.00	0%	5,356.62	-
48	P-5 INLET	14	EA	\$ 3,987.43	\$ 55,824.02	-	-	-	0.00	0%	55,824.02	-
49	P-6 INLET	26	EA	\$ 4,369.37	\$ 113,603.62	-	-	-	0.00	0%	113,603.62	-
50	J-6 INLET	2	EA	\$ 5,543.48	\$ 11,086.96	-	-	-	0.00	0%	11,086.96	-

CONTINUATION SHEET

AIA Document G703, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification is attached.

In tabulations below, amounts are stated to the nearest dollar. Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NUMBER:
APPLICATION DATE:
PERIOD TO:

A LINE NO.	B DESCRIPTION OF WORK	C QTY	D UNITS	E PRICE	F SCHEDULED VALUE	G WORK COMPLETED		H MATERIALS PRESENTLY STORED (NOT IN D OR E)	I TOTAL COMPLETED AND STORED TO DATE	J PERCENTAGE COMPLETE (G/C)	K BALANCE TO FINISH (C - G)	L RETAINAGE
						FROM PREVIOUS APPLICATIONS	THIS PERIOD					
51	TYPE C INLET	7	EA	\$ 2,032.97	\$ 14,230.79	-	-	-	0.00	0%	14,230.79	-
52	TYPE D INLET	1	EA	\$ 2,932.39	\$ 2,932.39	-	-	-	0.00	0%	2,932.39	-
53	D CONTROL STRUCTURE	8	EA	\$ 4,737.48	\$ 37,899.84	-	-	-	0.00	0%	37,899.84	-
54	CLEAN STORM	6236	LF	\$ 2.76	\$ 17,211.36	-	-	-	0.00	0%	17,211.36	-
55	STORM INSPECTION	6236	EA	\$ 2.16	\$ 13,469.76	-	-	-	0.00	0%	13,469.76	-
56	WELL POINTS	2900	LF	\$ 12.25	\$ 35,525.00	-	-	-	0.00	0%	35,525.00	-
57	STORM TOTAL				\$ 685,794.39							
58	WATER											
59	4" PVC	1525	LF	\$ 13.42	\$ 20,465.50	-	-	-	0.00	0%	20,465.50	-
60	6" PVC	2290	LF	\$ 18.55	\$ 42,479.50	-	-	-	0.00	0%	42,479.50	-
61	8" PVC	4660	LF	\$ 26.26	\$ 122,371.60	-	-	-	0.00	0%	122,371.60	-
62	WM SINGLE SERVICE	41	EA	\$ 572.78	\$ 23,483.98	-	-	-	0.00	0%	23,483.98	-
63	WM DOUBLE SERVICE	111	EA	\$ 1,202.47	\$ 133,474.17	-	-	-	0.00	0%	133,474.17	-
64	WATER FITTINGS	1	LS	\$ 39,421.51	\$ 39,421.51	-	-	-	0.00	0%	39,421.51	-
65	4" GATE VALVE	5	EA	\$ 1,002.69	\$ 5,013.45	-	-	-	0.00	0%	5,013.45	-
66	6" GATE VALVE	4	EA	\$ 1,266.11	\$ 5,064.44	-	-	-	0.00	0%	5,064.44	-
67	8" GATE VALVE	14	EA	\$ 1,683.41	\$ 23,567.74	-	-	-	0.00	0%	23,567.74	-
68	FIRE HYDRANT	9	EA	\$ 5,250.41	\$ 47,253.69	-	-	-	0.00	0%	47,253.69	-
69	2" BLOW OFF	3	EA	\$ 895.32	\$ 2,685.96	-	-	-	0.00	0%	2,685.96	-
70	2" JUMPER	1	EA	\$ 2,286.50	\$ 2,286.50	-	-	-	0.00	0%	2,286.50	-
71	10" X 8" WET TAP	1	EA	\$ 5,023.01	\$ 5,023.01	-	-	-	0.00	0%	5,023.01	-
72	TEST WATER LINES	8475	LF	\$ 1.87	\$ 15,848.25	-	-	-	0.00	0%	15,848.25	-
73	SAMPLE POINTS	12	EA	\$ 738.70	\$ 8,864.40	-	-	-	0.00	0%	8,864.40	-
74	WATER TOTAL				\$ 497,303.70							
75	PAVING											
76	ASPHALT 1.25"	20700	SY	\$ 8.70	\$ 180,090.00	-	-	-	0.00	0%	180,090.00	-
77	6" CONCRETE PAVING	1430	SF	\$ 8.75	\$ 12,512.50	-	-	-	0.00	0%	12,512.50	-
78	CRUSHED CONCRETE 6"	20700	SY	\$ 17.66	\$ 365,562.00	-	-	-	0.00	0%	365,562.00	-
79	STABILIZER 12"	26130	SY	\$ 5.71	\$ 149,202.30	-	-	-	0.00	0%	149,202.30	-
80	TYPE F CURB	360	LF	\$ 16.41	\$ 5,907.60	-	-	-	0.00	0%	5,907.60	-
81	MEDIAN CURB	340	LF	\$ 17.58	\$ 5,977.20	-	-	-	0.00	0%	5,977.20	-
82	MIAMI CURB	15580	LF	\$ 14.37	\$ 223,884.60	-	-	-	0.00	0%	223,884.60	-
83	4' SIDEWALK 6" THICK	100	LF	\$ 19.20	\$ 1,920.00	-	-	-	0.00	0%	1,920.00	-
84	4' SIDEWALK 4" THICK	2070	LF	\$ 17.60	\$ 36,432.00	-	-	-	0.00	0%	36,432.00	-
85	5' WHEEL CHAIR RAMP	14	EA	\$ 1,340.60	\$ 18,768.40	-	-	-	0.00	0%	18,768.40	-
86	SIGNS-PAVEMENT MARKINGS	1	LS	\$ 17,070.60	\$ 17,070.60	-	-	-	0.00	0%	17,070.60	-
87	PAVING TOTAL				\$ 1,017,327.20							
88	EARTHWORK											
89	INLET PROTECTION	50	EA	\$ 127.21	\$ 6,360.50	-	-	-	0.00	0%	6,360.50	-
90	SILT FENCE	5830	LF	\$ 1.16	\$ 6,762.80	-	-	-	0.00	0%	6,762.80	-
91	DOUBLE SILT FENCE	4950	LF	\$ 2.34	\$ 11,583.00	-	-	-	0.00	0%	11,583.00	-
92	CLEARING - BURN ON SITE	6	ACR	\$ 5,221.81	\$ 31,330.86	-	-	-	0.00	0%	31,330.86	-
93	MOW AND DISK	59	ACR	\$ 275.52	\$ 16,255.68	-	-	-	0.00	0%	16,255.68	-
94	STRIPPINGS	4955	CY	\$ 1.51	\$ 7,482.05	-	-	-	0.00	0%	7,482.05	-
95	EXCAVATION	186965	CY	\$ 1.92	\$ 358,972.80	-	-	-	0.00	0%	358,972.80	-
96	EMBANKMENT	186965	CY	\$ 0.61	\$ 114,048.65	-	-	-	0.00	0%	114,048.65	-
97	POND GRADING	30595	SY	\$ 0.61	\$ 18,662.95	-	-	-	0.00	0%	18,662.95	-
98	SWALE GRADING	2860	SY	\$ 0.61	\$ 1,744.60	-	-	-	0.00	0%	1,744.60	-
99	PAD GRADING	263	EA	\$ 169.99	\$ 44,707.37	-	-	-	0.00	0%	44,707.37	-
100	RAW GRADING	21710	SY	\$ 0.53	\$ 11,506.30	-	-	-	0.00	0%	11,506.30	-
101	SLOPE GRADING	13525	SY	\$ 0.53	\$ 7,168.25	-	-	-	0.00	0%	7,168.25	-

CONTINUATION SHEET

AIA Document G703, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NUMBER:
APPLICATION DATE:
PERIOD TO:

A LINE NO.	B DESCRIPTION OF WORK	C QTY	D UNITS	E PRICE	F SCHEDULED VALUE	G WORK COMPLETED		H MATERIALS PRESENTLY STORED (NOT IN D OR E)	I TOTAL COMPLETED AND STORED TO DATE	J PERCENTAGE COMPLETE (G/C)	K BALANCE TO FINISH (C - G)	L RETAINAGE
						FROM PREVIOUS APPLICATIONS	THIS PERIOD					
102	POND SOD	30595	SY	\$ 2.81	\$ 85,971.95	-	-	-	0.00	0%	85,971.95	-
103	SWALE SOD	2860	SY	\$ 2.81	\$ 8,036.60	-	-	-	0.00	0%	8,036.60	-
104	R/W SOD	2005	SY	\$ 2.81	\$ 5,634.05	-	-	-	0.00	0%	5,634.05	-
105	SEED & MULCH	41	ACR	\$ 1,080.00	\$ 44,280.00	-	-	-	0.00	0%	44,280.00	-
106	STRIP SOD	6265	SY	\$ 2.81	\$ 17,604.65	-	-	-	0.00	0%	17,604.65	-
107	SLOPE SOD	13525	SY	\$ 2.81	\$ 38,005.25	-	-	-	0.00	0%	38,005.25	-
108	DEMO FENCE	6980	LF	\$ 1.04	\$ 7,259.20	-	-	-	0.00	0%	7,259.20	-
109	DEMO EX PAVING	2620	SF	\$ 1.31	\$ 3,432.20	-	-	-	0.00	0%	3,432.20	-
110	GRAVITY WALL	180	LF	\$ 267.17	\$ 48,090.60	-	-	-	0.00	0%	48,090.60	-
111	6" VINYL FENCE	180	LF	\$ 16.15	\$ 2,907.00	-	-	-	0.00	0%	2,907.00	-
112	DEWATERING	1	LS	\$ 173,598.93	\$ 173,598.93	-	-	-	0.00	0%	173,598.93	-
113	EARTHWORK TOTAL										1,071,406.24	
114	OFFSITE											
115	EXCAVATE AND GRADE	1	LS	\$ 8,455.05	\$ 8,455.05	-	-	-	0.00	0%	8,455.05	-
116	ASPHALT OVERLAY 1"	3530	SY	\$ 8.34	\$ 29,440.20	-	-	-	0.00	0%	29,440.20	-
117	ASPHALT 1.50"	1640	SY	\$ 13.56	\$ 22,238.40	-	-	-	0.00	0%	22,238.40	-
118	1" MILL EXISTING	150	SY	\$ 36.00	\$ 5,400.00	-	-	-	0.00	0%	5,400.00	-
119	LIMEROCK 12"	1640	SY	\$ 24.22	\$ 39,720.80	-	-	-	0.00	0%	39,720.80	-
120	COMPACTED BASE 12"	1700	SY	\$ 2.26	\$ 3,842.00	-	-	-	0.00	0%	3,842.00	-
121	STABILIZER 6" CURB	200	SY	\$ 4.53	\$ 906.00	-	-	-	0.00	0%	906.00	-
122	STABILIZED SHOULDER	550	SY	\$ 9.61	\$ 5,285.50	-	-	-	0.00	0%	5,285.50	-
123	TYPE F CURB	590	LF	\$ 20.93	\$ 12,348.70	-	-	-	0.00	0%	12,348.70	-
124	6" CONCRETE DRIVE	375	SF	\$ 8.75	\$ 3,281.25	-	-	-	0.00	0%	3,281.25	-
125	4' SIDEWALK 4" THICK	195	LF	\$ 19.21	\$ 3,745.95	-	-	-	0.00	0%	3,745.95	-
126	6' SIDEWALK 4" THICK	395	LF	\$ 21.10	\$ 8,334.50	-	-	-	0.00	0%	8,334.50	-
127	R/W GRADING	850	SY	\$ 0.75	\$ 637.50	-	-	-	0.00	0%	637.50	-
128	R/W SOD	850	SY	\$ 2.81	\$ 2,388.50	-	-	-	0.00	0%	2,388.50	-
129	SIGNS-PAVEMENT MARKINGS	1	LS	\$ 8,709.60	\$ 8,709.60	-	-	-	0.00	0%	8,709.60	-
130	J-6 INLET (DOGHOUSE)	1	EA	\$ 10,332.69	\$ 10,332.69	-	-	-	0.00	0%	10,332.69	-
131	8" PVC	60	LF	\$ 75.03	\$ 4,501.80	-	-	-	0.00	0%	4,501.80	-
132	TEST WATER LINES	60	LF	\$ 1.87	\$ 112.20	-	-	-	0.00	0%	112.20	-
133	OPEN CUT/REPAIR	20	SY	\$ 312.64	\$ 6,252.80	-	-	-	0.00	0%	6,252.80	-
134	SAMPLE POINTS	1	EA	\$ 738.72	\$ 738.72	-	-	-	0.00	0%	738.72	-
135	GRAVITY WALL	245	LF	\$ 267.17	\$ 65,456.65	-	-	-	0.00	0%	65,456.65	-
136	42" HANDRAIL	245	LF	\$ 28.63	\$ 7,014.35	-	-	-	0.00	0%	7,014.35	-
137	DEWATERING OFFSITE	1	LS	\$ 9,024.44	\$ 9,024.44	-	-	-	0.00	0%	9,024.44	-
138	MOT	1	LS	\$ 50,883.19	\$ 50,883.19	-	-	-	0.00	0%	50,883.19	-
139	OFFSITE TOTAL										309,060.79	
140	MISC											
141	SURVEY	1	LS	\$ 28,275.00	\$ 28,275.00	-	-	-	0.00	0%	28,275.00	-
142	ASBULTS	1	LS	\$ 9,930.88	\$ 9,930.88	-	-	-	0.00	0%	9,930.88	-
143	MOBILIZATION	1	LS	\$ 19,438.50	\$ 19,438.50	-	-	-	0.00	0%	19,438.50	-
144	GEOTECH TESTING	1	LS	\$ 45,600.00	\$ 45,600.00	-	-	-	0.00	0%	45,600.00	-
145	LOT TESTING	263	EA	\$ 150.00	\$ 39,450.00	-	-	-	0.00	0%	39,450.00	-
146	ENVIRONMENTAL	1	LS	\$ 2,800.45	\$ 2,800.45	-	-	-	0.00	0%	2,800.45	-
147	S W/P P.P.	1	LS	\$ 3,600.00	\$ 3,600.00	-	-	-	0.00	0%	3,600.00	-
148	R/W PERMIT	1	LS	\$ 6,310.86	\$ 6,310.86	-	-	-	0.00	0%	6,310.86	-
149	RIP RAP	320	SY	\$ 63.19	\$ 20,220.80	-	-	-	0.00	0%	20,220.80	-
150	MISC. TOTAL										175,626.49	
	Total				4,807,745.97						\$4,807,745.97	

EXHIBIT D

BLUE OX ENTERPRISES, LLC
500 North Way
Sanford, Florida 32773
Tel: 407.339.4800
Fax: 407.339.4839

PARTIAL LIEN RELEASE

THE UNDERSIGNED LIENOR, IN CONSIDERATION OF PARTIAL PAYMENT IN THE AMOUNT OF \$_____. THE UNDERSIGNED IN SAID AMOUNT, SERVICES, OR MATERIAL FURNISHED THROUGH _____ TO **BLUE OX ENTERPRISES, LLC** THIS WAIVER DOES NOT COVER RETENTION EARNED THROUGH THE DATE OF THIS RELEASE IN THE AMOUNT OF N/A FOR LABOR, SERVICES, OR MATERIALS FURNISHED AFTER THE ABOVE DATE.

ON THE JOB OF: ONE THOUSAND OAKS, LLC.

ON THE FOLLOWING DESCRIBED PROPERTY:

ONE THOUSAND OAKS
EAGLE LAKE, FLORIDA
SECTION 07 & 08, TOWNSHIP 29S, RANGE 26E
POLK COUNTY

DATED: _____

BY: _____
VENDOR

STATE of _____

COUNTY of _____

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 2021.

MY COMMISSION EXPIRES:
PRINT, TYPE OR STAMP

SIGNATURE OF NOTARY PUBLIC

PERSONALLY KNOWN _____, OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION PRODUCED.

EXHIBIT E

BLUE OX ENTERPRISES, LLC
500 North Way
Sanford, Florida 32773
Tel: 407.339.4800
Fax: 407.339.4839

FINAL WAIVER AND RELEASE OF LIEN

THE UNDERSIGNED LIENOR, IN CONSIDERATION OF FINAL PAYMENT IN THE AMOUNT OF \$ _____ TO THE UNDERSIGNED IN SAID AMOUNT, WAIVS AND RELEASES ITS LIEN AND RIGHT TO CLAIM A LIEN FOR LABOR, SERVICES, OR MATERIAL FURNISHED TO **BLUE OX ENTERPRISES, LLC.**

ON THE JOB OF: ONE THOUSAND OAKS, LLC.

ON THE FOLLOWING DESCRIBED PROPERTY:

ONE THOUSAND OAKS
EAGLE LAKE, FLORIDA
SECTION 07 & 08, TOWNSHIP 29S, RANGE 26E
POLK COUNTY

DATED: _____

BY: _____
VENDOR

STATE of _____

COUNTY of _____

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 2021.

MY COMMISSION EXPIRES:
PRINT, TYPE OR STAMP

SIGNATURE OF NOTARY PUBLIC

PERSONALLY KNOWN _____, OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION PRODUCED.

EXHIBIT F

ID	Task Mode	Task Name	Duration	Start	Finish	Resource Names	August 2021	September 2021	October 2021	November 2021	December 2021	January 2022	February 2022	Mar
1	Mode	THOUSAND OAKS SUBDIVISION	151 days	Mon 8/2/21	Mon 2/28/22		7/25 8/1 8/8 8/15 8/22 8/29 9/5 9/12 9/19 9/26 10/3/0/100/100/100/240/311/71/141/211/241/212/12/15/2/26 1/2 1/9 1/16 1/23 1/30 2/6 2/13 2/20 2/27							
2	Mode	SITE PREP	7 days	Mon 8/2/21	Tue 8/10/21									
3	Mode	Silt Fence	5 days	Mon 8/2/21	Fri 8/6/21									
4	Mode	Construction Entrance	1 day	Mon 8/2/21	Mon 8/2/21									
5	Mode	Clearing	4 days	Tue 8/3/21	Fri 8/6/21									
6	Mode	Demo	6 days	Tue 8/3/21	Tue 8/10/21									
7	Mode	Mow and Disk	6 days	Tue 8/3/21	Tue 8/10/21									
8	Mode	EARTHWORK	25 days	Mon 8/9/21	Fri 9/10/21									
9	Mode	Excavation - Crew 1	25 days	Mon 8/9/21	Fri 9/10/21									
10	Mode	Excavation - Crew 2	25 days	Mon 8/9/21	Fri 9/10/21									
11	Mode	Site Grading - Crew 1	23 days	Wed 8/11/21	Fri 9/10/21									
12	Mode	Site Grading - Crew 2	23 days	Wed 8/11/21	Fri 9/10/21									
13	Mode	SANITARY	113 days	Fri 8/27/21	Tue 2/1/22									
14	Mode	Sanitary Installation	32 days	Fri 8/27/21	Mon 10/11/21									
15	Mode	Sanitary Services	8 days	Tue 10/12/21	Thu 10/21/21									
16	Mode	Sanitary Asbuilts	0 days	Mon 11/1/21	Mon 11/1/21									
17	Mode	Sanitary Testing	10 days	Wed 1/19/22	Tue 2/1/22									
18	Mode	FORCEMAIN	107 days	Mon 8/30/21	Tue 1/25/22									
19	Mode	Forcemain Installation	5 days	Mon 8/30/21	Fri 9/3/21									
20	Mode	Forcemain Asbuilts	0 days	Fri 9/24/21	Fri 9/24/21									
21	Mode	Forcemain Testing	5 days	Wed 1/19/22	Tue 1/25/22									
22	Mode	LIFT STATION	109 days	Thu 8/26/21	Tue 1/25/22									
23	Mode	Lift Station Installation	2 days	Thu 8/26/21	Fri 8/27/21									
24	Mode	Lift Station Plumb & Electric	0 days	Fri 10/29/21	Fri 10/29/21									
25	Mode	Lift Station Ready for Startup	0 days	Tue 1/25/22	Tue 1/25/22									
26	Mode	STORM	107 days	Mon 9/6/21	Tue 2/1/22									
27	Mode	Storm Installation	44 days	Mon 9/6/21	Thu 11/4/21									
28	Mode	Storm Asbuilts	0 days	Thu 11/25/21	Thu 11/25/21									
29	Mode	Storm Testing	10 days	Wed 1/19/22	Tue 2/1/22									
30	Mode	WATER	81 days	Tue 10/12/21	Tue 2/1/22									
31	Mode	Water Installation	32 days	Tue 10/12/21	Wed 11/24/21									

ID	Task Mode	Task Name	Duration	Start	Finish	Resource Names	August 2021	September 2021	October 2021	November 2021	December 2021	January 2022	February 2022	Mar
32	Mode	Water Services	7 days	Thu 11/25/21	Fri 12/3/21		7/25 8/1	8/8 8/15 8/22 8/29	9/5 9/12 9/19 9/26 10/3 10/10 10/17 10/24 10/31 11/7 11/14 11/21 11/28 12/5 12/12 12/19 12/26	1/2 1/9 1/16 1/23 1/30 2/6 2/13 2/20 2/27				
33		Water Asbults	0 days	Wed 12/15/21	Wed 12/15/21									
34		Water Testing	10 days	Wed 1/19/22	Tue 2/1/22									
35		ROADWAY	72 days	Fri 11/5/21	Mon 2/14/22									
36		Stabilizer	9 days	Fri 11/5/21	Wed 11/17/21									
37		Curb	26 days	Thu 11/18/21	Thu 12/23/21									
38		R/W Grading	6 days	Thu 11/18/21	Thu 11/25/21									
39		Base	18 days	Fri 12/24/21	Tue 1/18/22									
40		Sidewalk/Ramps	11 days	Wed 1/19/22	Wed 2/2/22									
41		Paving/Striping	5 days	Tue 2/8/22	Mon 2/14/22									
42		OFFSITE	29 days	Fri 11/5/21	Wed 12/15/21									
43		Grade & Excavate	2 days	Mon 11/8/21	Wed 11/10/21									
44		Storm	15 days	Fri 11/5/21	Thu 11/25/21									
45		Storm Installation	1 day	Fri 11/5/21	Fri 11/5/21									
46		Storm Asbults	0 days	Thu 11/25/21	Thu 11/25/21									
47		Water	28 days	Mon 11/8/21	Wed 12/15/21									
48		Water Installation	1 day	Mon 11/8/21	Mon 11/8/21									
49		Open Cut	1 day	Tue 11/9/21	Tue 11/9/21									
50		Water Asbults	0 days	Wed 12/15/21	Wed 12/15/21									
51		ROADWAY	26 days	Wed 11/10/21	Wed 12/15/21									
52		Stabilizer	2 days	Wed 11/10/21	Thu 11/11/21									
53		Base	3 days	Tue 11/16/21	Thu 11/18/21									
54		R/W Grading	1 day	Fri 11/12/21	Fri 11/12/21									
55		Curb	2 days	Fri 11/12/21	Mon 11/15/21									
56		Sidewalk/Ramps	2 days	Fri 11/19/21	Mon 11/22/21									
57		Paving/Striping	5 days	Thu 12/9/21	Wed 12/15/21									
58		PROJECT CLOSE OUT	68 days	Thu 11/25/21	Mon 2/28/22									
59		PUNCH OUT	30 days	Thu 11/25/21	Wed 1/5/22									
60		SANITARY CLEARANCE	14 days	Wed 2/9/22	Mon 2/28/22									
61		WATER CLEARANCE	14 days	Wed 2/9/22	Mon 2/28/22									

EXHIBIT G



500 NORTH WAY
SANFORD FL. 32773
PH 339-4800 FAX 339-4839

PROPOSAL #2021-149-02

PROPOSAL FOR: THOUSAND OAKS SUBDIVISION
CENTER STATE DEVELOPMENT
CHANGE ORDER

Date: 10/18/2021

Phase	Description	Qty	Units	Price	Total
SANITARY	1 8" PVC 0-6 SDR 26	15	LF \$	22.55 ✓ \$	338.25
	2 8" PVC 6-8 SDR 26	102	LF \$	23.96 ✓ \$	2,443.92
	3 8" PVC 8-10 SDR 26	-20	LF \$	26.96 ✓ \$	(539.20)
	4 8" PVC 10-12 SDR 26	49	LF \$	29.96 ✓ \$	1,468.04
	5 8" PVC 12-14 SDR 26	-41	LF \$	34.46 ✓ \$	(1,412.86)
	6 8" PVC 14-16 SDR 26	41	LF \$	38.44 ✓ \$	1,576.04
	7 8" PVC 14-16 DR 18	0	LF \$	44.87 ✓ \$	-
	8 8" PVC 16-18 SDR 26	-141	LF \$	44.11 ✓ \$	(6,219.51)
	9 MANHOLE 0-6	0	EA \$	4,180.23 ✓ \$	-
	10 MANHOLE 6-8	1	EA \$	4,724.21 ✓ \$	4,724.21
	11 MANHOLE 8-10	-1	EA \$	5,367.69 ✓ \$	(5,367.69)
	12 MANHOLE 10-12	1	EA \$	5,854.08 ✓ \$	5,854.08
	13 MANHOLE 12-14	-1	EA \$	6,372.18 ✓ \$	(6,372.18)
	14 MANHOLE 14-16	0	EA \$	6,868.21 ✓ \$	-
	15 MANHOLE 16-18	0	EA \$	11,651.76 ✓ \$	-
	16 MANHOLE LINED 12-14	0	EA \$	18,019.93 ✓ \$	-
	17 SINGLE LATERAL	5	EA \$	916.24 ✓ \$	4,581.20
	18 DOUBLE LATERAL	-2	EA \$	1,044.68 ✓ \$	(2,089.36)
	19 6" PVC FORCEMAIN	0	LF \$	18.55 ✓ \$	-
	20 6" PLUG VALVE	0	EA \$	1,305.87 ✓ \$	-
	21 FORCEMAIN FITTINGS	0	LS \$	14,365.44 ✓ \$	-
	22 10" x 6" WET TAP	0	EA \$	4,259.37 ✓ \$	-
	23 LIFT STATION	1	LS \$	8,614.36 ✓ \$	8,614.36
	24 AIR RELEASE VALVE	0	EA \$	5,370.01 ✓ \$	-
	25 CLEAN SANITARY LINES	5	LF \$	1.80 ✓ \$	9.00
	26 TEST SANITARY LINES	5	LF \$	1.44 ✓ \$	7.20
	27 TEST FORCEMAIN LINES	0	LF \$	1.44 ✓ \$	-
	28 T.V. SANITARY LINES	5	LF \$	1.98 ✓ \$	9.90
	29 DROP CONNECTION	0	EA \$	1,328.58 ✓ \$	-
	30 WELL POINTS	0	LF \$	12.25 ✓ \$	-
SANITARY TOTAL					\$ 7,625.40

Phase	Description	Qty	Units	Price	Total
STORM	1 18" RCP	56	LF \$	40.93 ✓ \$	2,292.08
	2 24" RCP	296	LF \$	54.31 ✓ \$	16,075.76
	3 15" HDPE	180	LF \$	29.48 ✓ \$	5,306.40
	4 18" HDPE	140	LF \$	35.79 ✓ \$	5,010.60
	5 24" HDPE	-100	LF \$	49.71 ✓ \$	(4,971.00)
	6 30" HDPE	0	LF \$	72.19 ✓ \$	-
	7 36" HDPE	0	LF \$	79.00 ✓ \$	-
	8 14" X 23" ERCP	-40	LF \$	32.32 ✓ \$	(1,292.80)
	9 19" X 30" ERCP	32	LF \$	79.63 ✓ \$	2,548.16
	10 STORM MANHOLE	1	EA \$	2,840.60 ✓ \$	2,840.60
	11 J MANHOLE	0	EA \$	4,050.45 ✓ \$	-
	12 15" MES	0	EA \$	772.86 ✓ \$	-
	13 18" MES	1	EA \$	865.95 ✓ \$	865.95
	14 24" MES	-1	EA \$	1,106.69 ✓ \$	(1,106.69)
	15 30" MES	0	EA \$	2,186.54 ✓ \$	-
	16 36" MES	0	EA \$	2,678.31 ✓ \$	-
	17 19" X 30" MES	1	EA \$	1,479.05 ✓ \$	1,479.05
	18 P-5 INLET	2	EA \$	3,987.43 ✓ \$	7,974.86
	19 P-6 INLET	-3	EA \$	4,369.37 ✓ \$	(13,108.11)
	20 J-6 INLET	0	EA \$	5,543.48 ✓ \$	-
	21 TYPE C INLET	5	EA \$	2,032.97 ✓ \$	10,164.85
	22 TYPE D INLET	0	EA \$	2,932.39 ✓ \$	-
	23 TYPE V INLET	1	EA \$	4,174.04 ✓ \$	4,174.04

24 D CONTROL STRUCTURE	0	EA	\$	4,737.48	\$	-
25 CLEAN STORM	564	LF	\$	2.76	\$	1,556.64
26 STORM INSPECTION	564	EA	\$	2.16	\$	1,218.24
27 WELL POINTS	260	LF	\$	12.25	\$	3,185.00
STORM TOTAL						\$ 44,213.63

Phase	Description	Qty	Units	Price	Total	
WATER	1 2" PVC	200	LF	\$ 11.46	\$ 2,292.00	
	2 4" PVC	-205	LF	\$ 13.42	\$ (2,751.10)	
	3 6" PVC	30	LF	\$ 18.55	\$ 556.50	
	4 8" PVC	-1200	LF	\$ 26.26	\$ (31,512.00)	
	5 10" PVC	1200	LF	\$ 46.64	\$ 55,968.00	
	6 WM SINGLE SERVICE	0	EA	\$ 572.78	\$ -	
	7 WM DOUBLE SERVICE	0	EA	\$ 1,202.47	\$ -	
	8 WATER FITTINGS	1	LS	\$ 6,611.35	\$ 6,611.35	
	9 4" GATE VALVE	-2	EA	\$ 1,002.69	\$ (2,005.38)	
	10 6" GATE VALVE	0	EA	\$ 1,266.11	\$ -	
	11 8" GATE VALVE	-2	EA	\$ 1,683.41	\$ (3,366.82)	
	12 10" GATE VALVE	2	EA	\$ 2,774.81	\$ 5,549.62	
	13 FIRE HYDRANT	1	EA	\$ 5,250.41	\$ 5,250.41	
	14 2" BLOW OFF	-2	EA	\$ 895.32	\$ (1,790.64)	
	15 2" JUMPER	0	EA	\$ 2,286.50	\$ -	
	16 10" X 8" WET TAP	-1	EA	\$ 5,023.01	\$ (5,023.01)	
	17 10" WET TAP	1	EA	\$ 7,029.58	\$ 7,029.58	
	18 TEST WATER LINES SAMPLE POINTS	25 0	LF EA	\$ 1.87 \$ 738.70	\$ 46.75 \$ -	
WATER TOTAL						\$ 36,855.26

Phase	Description	Qty	Units	Price	Total	
PAVING	1 ASPHALT 1.25"	310	SY	\$ 8.70	\$ 2,697.00	
	2 6" CONCRETE PAVING	0	SF	\$ 8.75	\$ -	
	3 CRUSHED CONCRETE 6"	310	S.Y.	\$ 17.66	\$ 5,474.60	
	4 STABILIZER 12"	310	SY	\$ 5.71	\$ 1,770.10	
	5 TYPE F CURB	0	LF	\$ 16.41	\$ -	
	6 D CURB	20	LF	\$ 14.82	\$ 296.40	
	7 MEDIAN CURB	0	LF	\$ 17.58	\$ -	
	8 MIAMI CURB	0	LF	\$ 14.37	\$ -	
	9 4' SIDEWALK 6" THICK	35	LF	\$ 19.20	\$ 672.00	
	10 4' SIDEWALK 4" THICK	0	LF	\$ 17.60	\$ -	
	11 5' SIDEWALK REC AREA-POND	1365	LF	\$ 19.54	\$ 26,672.10	
	12 5' 4" MONOLITHIC SIDEWALK	135	LF	\$ 37.19	\$ 5,020.65	
	13 8' SIDEWALK 4" THICK	15	LF	\$ 25.25	\$ 378.75	
	14 MAIL KIOSK PAD	280	SF	\$ 8.75	\$ 2,450.00	
	15 5' WHEEL CHAIR RAMP	1	EA	\$ 1,340.60	\$ 1,340.60	
	16 SIGNS-PAVEMENT MARKINGS	0	LS	\$ 17,070.60	\$ -	
PAVING TOTAL						\$ 46,772.20

Phase	Description	Qty	Units	Price	Total
EARTHWORK	1 INLET PROTECTION	0	EA	\$ 127.21	\$ -
	2 SILT FENCE	0	LF	\$ 1.16	\$ -
	3 DOUBLE SILT FENCE	0	LF	\$ 2.34	\$ -
	4 CLEARING - BURN ON SITE	0	ACR	\$ 5,221.81	\$ -
	5 MOW AND DISK	0	ACR	\$ 275.52	\$ -
	6 STRIPPINGS	0	CY	\$ 1.51	\$ -
	7 EXCAVATION	675	CY	\$ 1.92	\$ 1,296.00
	8 EMBANKMENT	675	CY	\$ 0.61	\$ 411.75
	9 POND GRADING	300	SY	\$ 0.61	\$ 183.00
	10 SWALE GRADING	0	SY	\$ 0.61	\$ -
	11 PAD GRADING	0	EA	\$ 169.99	\$ -
	12 R/W GRADING	0	SY	\$ 0.53	\$ -
	13 SLOPE GRADING	325	SY	\$ 0.53	\$ 172.25
	14 POND SOD	300	SY	\$ 2.81	\$ 843.00
	15 SWALE SOD	0	SY	\$ 2.81	\$ -
	16 R/W SOD	0	SY	\$ 2.81	\$ -
	17 SEED & MULCH	0	ACR	\$ 1,080.00	\$ -
	18 STRIP SOD	0	SY	\$ 2.81	\$ -
	19 SLOPE SOD	325	SY	\$ 2.81	\$ 913.25
	20 REC AREA SOD	725	SY	\$ 2.81	\$ 2,037.25

21 DEMO EXISTING STRUCTURES	3160	SF	\$	5.34	\$	16,874.40
22 DEMO FENCE	0	LF	\$	1.04	\$	-
23 DEMO EX PAVING	0	SF	\$	1.31	\$	-
24 GRAVITY WALL	0	LF	\$	267.17	\$	-
25 6" VINYL FENCE	0	LF	\$	16.15	\$	-
26 DEWATERING	1	LS	\$	9,000.00	\$	9,000.00
EARTHWORK TOTAL						\$ 31,730.90

Phase	Description	Qty	Units	Price	Total	
OFFSITE	1 EXCAVATE AND GRADE	0	LS	\$ 8,455.05	-	
	2 ASPHALT OVERLAY 1"	0	SY	\$ 8.34	-	
	3 ASPHALT 1.50"	0	SY	\$ 13.56	-	
	4 1" MILL EXISTING	0	SY	\$ 36.00	-	
	5 LIMEROCK 12"	0	SY	\$ 24.22	-	
	6 COMPACTED BASE 12"	0	SY	\$ 2.26	-	
	7 STABILIZER 6" CURB	0	SY	\$ 4.53	-	
	8 STABILIZED SHOULDER	0	SY	\$ 9.61	-	
	9 TYPE F CURB	0	LF	\$ 20.93	-	
	10 6" CONCRETE DRIVE	0	SF	\$ 8.75	-	
	11 4' SIDEWALK 4" THICK	0	LF	\$ 19.21	-	
	12 6' SIDEWALK 4" THICK	0	LF	\$ 21.10	-	
	13 R/W GRADING	0	SY	\$ 0.75	-	
	14 R/W SOD	0	SY	\$ 2.81	-	
	15 SIGNS-PAVEMENT MARKINGS	0	LS	\$ 8,709.60	-	
	16 J-6 INLET (DOGHOUSE)	0	EA	\$ 10,332.69	-	
	17 8" PVC	-60	LF	\$ 75.03	-	
	18 10" PVC	60	LF	\$ 75.03	4,501.80	
	19 TEST WATER LINES	0	LF	\$ 1.87	-	
	20 OPEN CUT/ REPAIR	0	SY	\$ 312.64	-	
	21 SAMPLE POINTS	0	EA	\$ 738.72	-	
	22 GRAVITY WALL	0	LF	\$ 267.17	-	
	23 42" HANDRAIL	0	LF	\$ 28.63	-	
	24 DEWATERING OFFSITE	0	LS	\$ 9,024.44	-	
	25 MOT	0	LS	\$ 50,883.19	-	
OFFSITE TOTAL						\$ 4,501.80

Phase	Description	Qty	Units	Price	Total	
MISC.	1 SURVEY	0	LS	\$ 28,275.00	-	
	2 ASBUILTS	0	LS	\$ 9,930.88	-	
	3 MOBILIZATION	0	LS	\$ 19,438.50	-	
	4 GEOTECH TESTING	0	LS	\$ 45,600.00	-	
	5 LOT TESTING	0	EA	\$ 150.00	-	
	6 ENVIRONMENTAL	0	LS	\$ 2,800.45	-	
	7 S.W.P.P.P.	0	LS	\$ 3,600.00	-	
	8 R/W PERMIT	0	LS	\$ 6,310.86	-	
	9 RIP RAP	0	SY	\$ 63.19	-	
MISC. TOTAL						\$ -

SANITARY TOTAL	\$	7,625.40
STORM TOTAL	\$	44,213.63
WATER TOTAL	\$	36,855.26
PAVING TOTAL	\$	46,772.20
EARTHWORK TOTAL	\$	31,730.90
OFFSITE TOTAL	\$	4,501.80
MISC. TOTAL	\$	-
TOTAL	\$	171,699.19

Notes:

1 This change order is based on GADD & ASSOCIATES ENGINEERING plans with latest revision shown on 09-08-2021.

JRD
10/29/21



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - One Thousand Oaks

DATE: 1/26/2022
PCO#: EXTCO02

To: Branden Eckenrode
~~Wind Meadows, LLC~~

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Eagle Hammock of Eagle Lake, LLC

Phone:
Fax:
Email: branden@centerstatedev.com

Phone: 407-339-4800
Fax: 407-339-4839
Email: bshort@blueoxland.com

CC: Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839
Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839
Halsey Carson <~~Inman Groves Dendee Road, LLC~~> - Phone: - Fax:

Below is the detail for our proposal to complete the following changes in contract work:
- External Change Order: TECO PLAN CHANGES

PCO Item	Quantity	UM	Unit Price	Amount
01 : DEMO 24" HDPE	64.00	LF	\$18.50	\$1,184.00
02 : DEMO 24" MES	1.00	EA	\$375.00	\$375.00
03 : MODIFY D INLET	1.00	EA	\$475.00	\$475.00
04 : 24" HDPE	90.00	LF	\$49.71	\$4,473.90
05 : 24" MES	1.00	EA	\$1,106.69	\$1,106.69
08 : DROP CURB	50.00	LF	\$23.50	\$1,175.00
09 : 4' SIDEWALK 6" THICK	36.00	LF	\$19.20	\$691.20

Total Amount \$9,480.79

Submitted By:

Approved By:

3-23-22

BRITTANY SHORT
Blue Ox Enterprises, LLC

1/26/2022
Date

Branden Eckenrode
~~Wind Meadows, LLC~~

Date

Eagle Hammock of Eagle Lake, LLC



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - One Thousand Oaks

DATE: 4/06/2022
PCO#: EXT003

To: Halsey Carson
One Thousand Oaks

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone: 863-280-6921

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: halsey@centerstatedev.com

Email: bshort@blueoxland.com

CC: Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839
Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: POWER CROSSINGS
 - Notes: 1.) Blue Ox to excavate trench previously backfilled by others, re-compact soil, place & grade 9" of road base (12" outside of back of curb) 2.) 10' of curb to be removed each time conduit crosses (i.e. 20' of curb per crossing) is included.

PCO Item	Quantity	UM	Unit Price	Amount
162040 01 : EXCAVATE AND BACKFILL CROSSING	20.00	EA	\$1,623.51	\$32,470.20
162040 02 : R&R MIAMI CURB	400.00	LF	\$44.19	\$17,676.00
162040 03 : GEO-TECH	1.00	LS	\$1,500.00	\$1,500.00
162060 04 : IRRIGATION CROSSINGS	60.00	LF	\$28.25	\$1,695.00
162040 05 : MOBILIZATION	1.00	LS	\$1,440.00	\$1,440.00

Total Amount \$54,781.20

Submitted By:

Approved By:

4-6-22

BRITTANY SHORT
Blue Ox Enterprises, LLC

4/06/2022
Date

~~Halsey Carson~~
One Thousand Oaks

Date

Branden Eckenrode



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - One Thousand Oaks

DATE: 4/06/2022
PCO#: EXTCO04

To: Halsey Carson
One Thousand Oaks

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone:

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: halsey@centerstatedev.com

Email: bshort@blueoxland.com

CC: Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839
Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: MISC. ITEMS

PCO Item	Quantity	UM	Unit Price	Amount
162081 01 : ASBESTOS REMOVAL	1.00	LS	\$4,440.00	\$4,440.00
162081 02 : OFFSITE CLEARING	1.00	LS	\$6,514.60	\$6,514.60
162087 03 : ADDITIONAL WATER SERVICE	1.00	EA	\$2,789.82	\$2,789.82
162081 04 : EXCAVATE-BURRY TRASH	6,400.00	CY	\$4.74	\$30,336.00
162081 05 : TRASH REMOVAL	12.00	LDS	\$428.53	\$5,142.36

Total Amount \$49,222.78

Submitted By:

Brittany Short

Approved By:

BR

BRITTANY SHORT
Blue Ox Enterprises, LLC

4/06/2022
Date

~~Halsey Carson~~
One Thousand Oaks

4-14-22
Date

Branden Eckrode



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - Eagle Hammock

DATE: 5/10/2022
PCO#: EXT005

To: Branden Eckenrode
Eagle Hammock

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone:

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: branden@centerstatedev.com

Email: bshort@blueoxland.com

CC: Halsey Carson - Phone: 863-280-6921 - Fax:
Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839
Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: SITE POWER LAYOUT

PCO Item	Quantity	UM	Unit Price	Amount
01 : SURVEY CODE: 16114	1.00	LS	\$9,338.00	\$9,338.00

Total Amount **\$9,338.00**

Submitted By:

Brittany Short

Approved By:

Branden Eckenrode

BRITTANY SHORT
Blue Ox Enterprises, LLC

5/10/2022
Date

Branden Eckenrode

5-11-22
Date



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - Eagle Hammock

DATE: 5/10/2022
PCO#: EXT006

To: Branden Eckenrode

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone:

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: branden@centerstatedev.com

Email: bshort@blueoxland.com

CC: Halsey Carson - Phone: 863-280-6921 - Fax:

Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: OFFSITE FIRE HYDRANT RELOCATION

PCO Item	Quantity	UM	Unit Price	Amount
01 : RELOCATE FIRE HYDRANT code: 16200	1.00	EA	\$7037.00	\$7,037.00

Total Amount **\$7,037.00**

Submitted By:

Approved By:

BRITTANY SHORT

Blue Ox Enterprises, LLC

5/10/2022

Date

Branden Eckenrode

Date

5-11-22

Cost Code = 162088



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - Eagle Hammock

DATE: 5/23/2022
PCO#: EXT007

To: Halsey Carson

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone: 863-280-6921

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: halsey@centerstatedev.com

Email: bshort@blueoxland.com

CC: Branden Eckenrode - Phone: - Fax:
Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839
Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: LOT TESTING DEDUCT

PCO Item	Quantity	UM	Unit Price	Amount
1 : DR HORTON LOT TESTING DEDUCT	-132.00	EA	\$150.00	\$-19,800.00

Total Amount **\$-19,800.00**

Submitted By:
Brittany Short

Approved By:
[Signature]
5-23-22

BRITTANY SHORT
Blue Ox Enterprises, LLC
5/23/2022
Date

Halsey Carson
Branden Eckenrode
Date



Cost Code = 1162082



500 NORTH WAY
SANFORD FL. 32773
PH 339-4800 FAX 339-4839

PROPOSAL FOR:

1000 OAKS
CENTERSTATE DEVELOPMENT
LIFT STATION POWER RELOCATION

6/27/2022

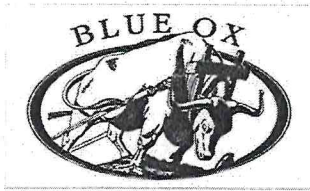
Phase	Description	Qty	Units	Price	Total
	1 RELOCATE POWER @ L/S	1	LS	\$ 6,520.00	\$ 6,520.00
TOTAL				\$	6,520.00

Notes:

1 Per CSD request and meeting onsite with all parties, the cost includes removal and replacement of concrete (4" wide trench only), new conduit to relocate power to lift station to the back of the tract.

BLED

Cost Code - 762082



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. Eagle Hammock

DATE: 7/26/2022
PCO#: EXTCO10

To: Branden Eckenrode

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone:

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: branden@centerstatedev.com

Email: bshort@blueoxland.com

CC: Halsey Carson - Phone: 863-280-6921 - Fax:

Steve Lembrich - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: LIFT STATION PANEL CHANGE - CITY OF EAGLE LAKE SPECS

PCO Item	Quantity	UM	Unit Price	Amount
01 : LIFT STATION PANEL CHANGE - CITY OF EAGLE LAKE SPECS	1.00	LS	\$14,847.00	\$14,847.00

Total Amount \$14,847.00

Submitted By:

Approved By:

7/26/2022

7-26-22

BRITTANY SHORT
Blue Ox Enterprises, LLC

Date

Branden Eckenrode

Date

Bill

Center State Development 2 LLC
4900 Dundee Rd
FL 33884-1183

Date	Ref. No.
09/01/2022	CO 08-011

Vendor
Blue Ox Enterprises, LLC 500 North Way Sanford, Fl. 32773

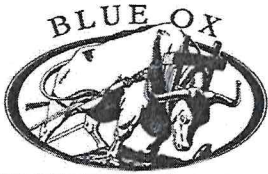
Bill Due	09/13/2022
Terms	Net 30
Memo	Change order 08 & Change order 011

Expenses

Account	Memo	Amount	Customer:Job	Class
Earthwork	CO 08	12,000.00		Eagle Hammock
Sanitary	CO 08	13,135.00		Eagle Hammock
Paving	Co 11	735.00		Eagle Hammock

Expense Total : 25,870.00

Bill Total : \$25,870.00



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - One Thousand Oaks

DATE: 6/14/2022
PCO#: EXTCO08

To: Halsey Carson
~~Alford Oaks, LLC~~
Eagle Hammock of Eagle Lake, LLC

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone: 863-280-6921

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: halsey@centerstatedev.com

Email: bshort@blueoxland.com

CC: Branden Eckenrode - Wind Meadows, LLC - Phone: - Fax:

Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: MISC. ITEMS - SOD AND ARV'S

Cost Code
↓
162081

162085

PCO Item	Quantity	UM	Unit Price	Amount
01 : SOD BEHIND LOTS 31-35	4000.000	SY	\$3.00	\$12,000.00
02 : STAINLESS STEEL ARV'S AT LIFT STATION	1.00	LS	\$13,135.00	\$13,135.00
Total Amount				\$25,135.00

Submitted By:
Brittany Short

Approved By:
[Signature]

BRITTANY SHORT
Blue Ox Enterprises, LLC
6/14/2022
Date

[Signature]
Halsey Carson
~~Alford Oaks, LLC~~
Branden Eckenrode
Eagle Hammock of Eagle Lake, LLC
Date



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - One Thousand Oaks

DATE: 8/25/2022
PCO#: EXTCO11

To: Tim Todd

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone:

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: tim@centerstatedev.com

Email: bshort@blueoxland.com

CC: Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Steve Lembrich - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: ADDITIONAL SOD AND CONCRETE resulting from TECO damages and DR Hortons request

Don't pay

PCO Item	Quantity	UM	Unit Price	Amount
01 : ADDITIONAL SOD	6,222.00	SY	\$3.00	\$18,666.00
02 : REPAIR CONCRETE	12.00	SF	\$61.25	\$735.00
Total Amount				\$19,401.00

Don't pay (circled around the amount column)

Submitted By:

Brittany Short

Approved By:

[Signature]

~~Tim Todd~~

Harold R. Baxter

8/25/2022

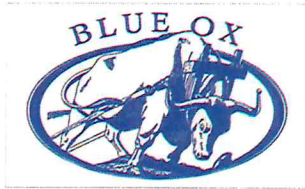
Date

8/26/22

Date

BRITTANY SHORT
Blue Ox Enterprises, LLC

Pay this



CHANGE ORDER REQUEST

Blue Ox Enterprises, LLC
2127. - One Thousand Oaks

DATE: 10/25/2022
PCO#: EXTCO12

To: Tim Todd

From: Brittany Short
Blue Ox Enterprises, LLC
500 North Way
Sanford FL 32773

Phone:

Phone: 407-339-4800

Fax:

Fax: 407-339-4839

Email: tim@centerstatedev.com

Email: bshort@blueoxland.com

CC: Reggie Baxter -

Daniel David - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Chelsea Thompson - Blue Ox Enterprises, LLC - Phone: 407-339-4800 - Fax: 407-339-4839

Below is the detail for our proposal to complete the following changes in contract work:

- External Change Order: TECO DESTROYED SOD (originally on EXTCO11)

PCO Item	Quantity	UM	Unit Price	Amount
01 : TECO DESTROYED SOD	2,053.000	SY	\$3.00	\$6,159.00

Total Amount **\$6,159.00**

Submitted By:

Approved By:

10/25/2022

BRITTANY SHORT
Blue Ox Enterprises, LLC

Date

Reggie Baxter

Date

SECTION XI

SECTION C

Eagle Hammock CDD

Field Management Report



April 11th, 2023

Allen Bailey – Field Manager

GMS

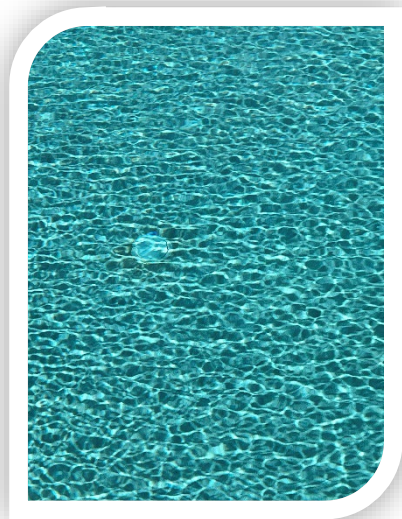
Completed

District Signage



✚ Road signs throughout the community were found leaning and have been straightened.

Pool Inlet



✚ A pool inlet cover was damaged and has been replaced to avoid risk to residents.

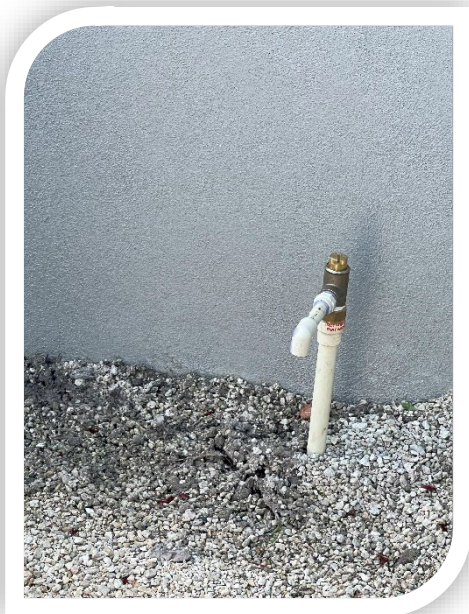
Complete

Pool Rules



✚ The original pool rules sign was damaged and has been replaced with a more durable metal sign that will stand up to outside weather conditions.

Pressure Release Valve



✚ The amenity pressure release valve was found pouring out water.

✚ A local vendor fixed the issue by replacing the valve with a sturdier version.

Review

District Landscape



✚ The district landscape is filling out with all the rain and warmer temperatures.

District Ponds



✚ The district ponds are not showing signs of large algae blooms or other vegetation growth.

Conclusion

For any questions or comments regarding the above information, please contact me by phone at 407-460-4424, or by email at abailey@gmscfl.com. Thank you.

Respectfully,
Allen Bailey

SECTION D

SECTION 1

Eagle Hammock Community Development District

Summary of Check Register

July 1, 2023 to March 29, 2024

Fund	Date	Check No.'s	Amount
General Fund	7/5/23	81	\$ 3,637.53
	7/10/23	82-83	\$ 1,129.75
	7/17/23	84-86	\$ 6,318.35
	7/24/23	87-93	\$ 7,664.00
	7/31/23	94	\$ 700.00
	8/9/23	95-97	\$ 17,547.76
	8/14/23	98	\$ 639.72
	8/23/23	99-103	\$ 17,381.32
	8/28/23	104-105	\$ 370.00
	9/6/23	106-109	\$ 800.00
	9/11/23	110-112	\$ 2,775.00
	9/14/23	113	\$ 438.00
	10/23/23	114-120	\$ 20,113.88
	11/1/23	121-126	\$ 23,584.41
	11/3/23	127	\$ 474.50
	11/28/23	128-133	\$ 7,813.00
	12/4/23	134-137	\$ 6,585.99
	12/11/23	138	\$ 183.75
	1/16/24	139-149	\$ 193,712.87
	1/22/24	150-151	\$ 885.00
	1/31/24	152	\$ 579.00
	2/6/24	153	\$ 383.45
	2/14/24	154-157	\$ 5,981.00
	2/19/24	158	\$ 5,460.92
	3/4/24	159-163	\$ 3,844.36
	3/11/24	164	\$ 5,436.84
	3/18/24	165-166	\$ 3,491.00
	3/25/24	167-168	\$ 317.00
Total Amount			\$ 338,248.40

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT ACCT#	SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
7/05/23	00002	6/30/23	00056770	202306	310-51300-48000		CA FLORIDA HOLDINGS, LLC	*	3,637.53	3,637.53	000081
NOT OF BUDGET FY24											
7/10/23	00008	6/26/23	16127	202306	320-53800-47000		AQUATIC WEED MANAGEMENT, INC	*	700.00	700.00	000082
MONTHLY POND HERBICIDE											
7/10/23	00020	6/28/23	10103	202306	330-57200-48201		CLEAN STAR SERVICES OF CENTRAL FL	*	429.75	429.75	000083
JANITORIAL SVCS-JUN23											
7/17/23	00016	7/13/23	2	202307	310-51300-49000		DISCLOSURE SERVICES LLC	*	250.00	250.00	000084
AMORT SERIES 2022 8-1											
7/17/23	00021	7/13/23	3965	202307	310-51300-31100		GADD & ASSOCIATES, LLC	*	803.22	803.22	000085
ENGINEER SERVICE 2/9-7/13											
7/17/23	00001	7/01/23	37	202307	310-51300-34000		MANAGEMENT FEES JUL23	*	2,916.67		
		7/01/23	37	202307	310-51300-35200		WEBSITE ADMIN JUL23	*	100.00		
		7/01/23	37	202307	310-51300-35100		INFORMATION TECH JUL23	*	150.00		
		7/01/23	37	202307	310-51300-31300		DISSEMINATION SVCS JUL23	*	416.67		
		7/01/23	37	202307	330-57200-49200		AMENITY ACCESS JUL23	*	416.67		
		7/01/23	37	202307	310-51300-51000		OFFICE SUPPLIES JUL23	*	.72		
		7/01/23	37	202307	310-51300-42000		POSTAGE JUL23	*	14.40		
		7/01/23	38	202307	320-53800-34000		FIELD MANAGEMENT JUL23	*	1,250.00		
										5,265.13	000086
7/24/23	00012	7/13/23	BW071320	202307	310-51300-11000		BRIAN WALSH	*	200.00	200.00	000087
SUPERVISOR FEE 07/13/23											
7/24/23	00013	7/13/23	GP071320	202307	310-51300-11000		GARRET PARKINSON	*	200.00	200.00	000088
SUPERVISOR FEE 07/13/23											

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
7/24/23	00014	7/13/23	JS071320	202307	310-51300	11000		SUPERVISOR FEE 07/13/23 JEFFREY T SHENEFIELD	*	200.00	200.00	000089
7/24/23	00006	7/16/23	6936	202306	310-51300	31500		GENERAL COUNSEL JUN23 KILINSKI VAN WYK, PLLC	*	1,658.00	1,658.00	000090
7/24/23	00011	7/13/23	MA071320	202307	310-51300	11000		SUPERVISOR FEE 07/13/23 MILTON ANDRADE	*	200.00	200.00	000091
7/24/23	00010	7/01/23	9394	202307	320-53800	46200		LANDSCAPE MAINT JUL23 PRINCE & SONS INC.	*	3,206.00	3,206.00	000092
7/24/23	00019	6/22/23	4556	202306	330-57200	46300		POOL MAINT APR23 - JUN23 SERENITY POOLS AND SPAS OF CF INC	*	2,000.00	2,000.00	000093
7/31/23	00008	7/27/23	16313	202307	320-53800	47000		MONTHLY POND HERBICIDE AQUATIC WEED MANAGEMENT, INC	*	700.00	700.00	000094
8/09/23	00020	7/31/23	10294	202307	330-57200	48201		JANITORIAL SVCS-JUL23 CLEAN STAR SERVICES OF CENTRAL FL	*	725.00	725.00	000095
8/09/23	00017	8/01/23	33530-2	202308	330-57200	34500		SIFER ISO CARD	*	664.50		
		8/04/23	105226	202308	330-57200	34500		SECURITY SVCS AUG23	*	6,391.44		
		8/04/23	105704	202308	330-57200	34500		SECURITY SVCS AUG23	*	6,560.82		
								CURRENT DEMANDS ELECTRICAL			13,616.76	000096
8/09/23	00010	8/01/23	9635	202308	320-53800	46200		LANDSCAPE MAINT AUG23 PRINCE & SONS INC.	*	3,206.00	3,206.00	000097
8/14/23	00022	7/27/23	07272023	202307	320-53800	43200		ACCT 6715 JUL23	*	42.92		
		7/27/23	07272023	202307	320-53800	43200		ACH FEE	*	30.00		
		7/27/23	07272023	202307	320-53800	43200		ACCT 6834 JUL23	*	536.80		

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
7/27/23		07272023	ACH FEE	202307	320	53800	43200			*	30.00		
CITY OF EAGLE LAKE												639.72	000098
8/23/23	00017	8/01/23	105706	202308	330	57200	34500		SIFER SMART CARD READER	*	622.20		
		8/07/23	105410	202308	330	57200	34500		ACCESS/CAMERA LABOR	*	308.02		
		8/07/23	105456	202308	330	57200	34500		LOCKSMITH LABOR	*	483.22		
CURRENT DEMANDS ELECTRICAL												1,413.44	000099
8/23/23	00001	6/30/23	41	202308	330	57200	48000		GENERAL MAINT MAY/JUN23	*	2,402.22		
		8/01/23	39	202308	310	51300	34000		MANAGEMENT FEES AUG23	*	2,916.67		
		8/01/23	39	202308	310	51300	35200		WEBSITE ADMIN AUG23	*	100.00		
		8/01/23	39	202308	310	51300	35100		INFORMATION TECH AUG23	*	150.00		
		8/01/23	39	202308	310	51300	31300		DISSEMINATION SVCS AUG23	*	416.67		
		8/01/23	39	202308	330	57200	49200		AMENITY ACCESS AUG23	*	416.67		
		8/01/23	39	202308	310	51300	51000		OFFICE SUPPLIES AUG23	*	3.16		
		8/01/23	39	202308	310	51300	42000		POSTAGE AUG23	*	48.36		
		8/01/23	40	202308	320	53800	34000		FIELD MANAGEMENT AUG23	*	1,250.00		
GOVERNMENTAL MANAGEMENT SERVICES-												7,703.75	000100
8/23/23	00006	8/18/23	7158	202307	310	51300	31500		GENERAL COUNSEL JUL23	*	883.50		
KILINSKI VAN WYK, PLLC												883.50	000101
8/23/23	00023	8/07/23	20086	202306	330	57200	46300		POOL MAINT PART JUN23	*	540.00		
		8/07/23	20087	202307	330	57200	46300		POOL MAINTENANCE JUL23	*	1,350.00		
		8/07/23	20088	202308	330	57200	46300		POOL MAINTENANCE AUG23	*	1,350.00		
		8/07/23	20089	202308	330	57200	48000		REPAIR-2 COVER PLATES	*	100.00		
MCDONNELL CORPORATION DBA RESORT												3,340.00	000102

CHECK DATE	VEND#	INVOICE DATE	INVOICE	YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
8/23/23	00024	7/25/23	6998895	202307	310	51300	32300		TRUSTEE FEES FY23 US BANK	*	4,040.63	4,040.63	000103
8/28/23	00025	8/10/23	26864	202308	330	57200	48100		PEST CONTROL AUG23 ALL AMERICAN LAWN & TREE	*	185.00	185.00	000104
8/28/23	00017	8/04/23	105866	202308	330	57200	49200		TROUBLESHOOT DVR UNIT CURRENT DEMANDS ELECTRICAL	*	185.00	185.00	000105
9/06/23	00012	8/10/23	BW081020	202308	310	51300	11000		SUPERVISOR FEE 08/10/23 BRIAN WALSH	*	200.00	200.00	000106
9/06/23	00013	8/10/23	GP081020	202308	310	51300	11000		SUPERVISOR FEE 08/10/23 GARRET PARKINSON	*	200.00	200.00	000107
9/06/23	00014	8/10/23	JS081020	202308	310	51300	11000		SUPERVISOR FEE 08/10/23 JEFFREY T SHENEFIELD	*	200.00	200.00	000108
9/06/23	00011	8/10/23	MA081020	202308	310	51300	11000		SUPERVISOR FEE 08/10/23 MILTON ANDRADE	*	200.00	200.00	000109
9/11/23	00008	8/29/23	16437	202308	320	53800	47000		POND HERBICIDE AUG23 AQUATIC WEED MANAGEMENT, INC	*	700.00	700.00	000110
9/11/23	00020	8/29/23	10536	202308	330	57200	48201		JANITORIAL SVCS-AUG23 CLEAN STAR SERVICES OF CENTRAL FL	*	725.00	725.00	000111
9/11/23	00023	9/01/23	20251	202309	330	57200	46300		POOL MAINTENANCE SEP23 MCDONNELL CORPORATION DBA RESORT	*	1,350.00	1,350.00	000112
9/14/23	00006	7/16/23	6937	202309	300	20700	10200		CFR#2	*	219.00		
		8/18/23	7159	202309	300	20700	10200		CFR#2 KILINSKI VAN WYK, PLLC	*	219.00	438.00	000113

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
10/23/23	00008	9/28/23	16568	202309	320-53800		47000	POND HERBICIDE SEP23 AQUATIC WEED MANAGEMENT, INC	*	700.00	700.00	000114
10/23/23	00002	9/30/23	00059095	202309	310-51300		48000	FY24 BOS MEETING DATES CA FLORIDA HOLDINGS, LLC	*	392.78	392.78	000115
10/23/23	00020	9/26/23	10747	202309	330-57200		48201	JANITORIAL SVCS-SEP23 CLEAN STAR SERVICES OF CENTRAL FL	*	725.00	725.00	000116
10/23/23	00017	9/18/23	106532	202309	330-57200		49200	ACCESS/CAMERA LABOR CURRENT DEMANDS ELECTRICAL	*	532.60	532.60	000117
10/23/23	00003	10/02/23	89489	202310	310-51300		54000	SPECIAL DISTRICT FEE FY24 DEPARTMENT OF ECONOMIC OPPORTUNITY	*	175.00	175.00	000118
10/23/23	00004	9/20/23	19951	202310	310-51300		45000	FY24 INSURANCE POLICY	*	5,175.00		
		9/20/23	19951	202310	320-53800		45000	FY24 INSURANCE POLICY EGIS INSURANCE ADVISORS, LLC	*	8,595.00	13,770.00	000119
10/23/23	00010	9/01/23	9929	202309	320-53800		46200	LANDSCAPE MAINT SEP23	*	3,206.00		
		9/22/23	10204	202309	330-57200		48000	BUSHHOGGING/AMENITY CNTR PRINCE & SONS INC.	*	612.50	3,818.50	000120
11/01/23	00026	10/13/23	7383-10-	202310	310-51300		31300	SPECIAL ASSESS BOND S2022 AMTEC	*	450.00	450.00	000121
11/01/23	99999	11/01/23	VOID	202311	000-00000		00000	VOID CHECK *****INVALID VENDOR NUMBER*****	C	.00	.00	000122
11/01/23	00001	8/31/23	45	202308	330-57200		48000	AMENITY REP/MAINT AUG23	*	1,435.73		
		9/01/23	42	202309	310-51300		34000	MANAGEMENT FEES SEP23	*	2,916.67		
		9/01/23	42	202309	310-51300		35200	WEBSITE ADMIN SEP23	*	100.00		

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
9/01/23		42		202309	310	51300	35100			*	150.00		
			INFORMATION TECH SEP23										
9/01/23		42		202309	310	51300	31300			*	416.67		
			DISSEMINATION SVCS SEP23										
9/01/23		42		202309	330	57200	49200			*	416.67		
			AMENITY ACCESS SEP23										
9/01/23		42		202309	310	51300	51000			*	3.04		
			OFFICE SUPPLIES SEP23										
9/01/23		42		202309	310	51300	42000			*	37.90		
			POSTAGE SEP23										
9/01/23		43		202309	320	53800	34000			*	1,250.00		
			FIELD MANAGEMENT SEP23										
9/30/23		48		202310	310	51300	31700			*	5,000.00		
			ASSESSMENT ROLL FY24										
10/01/23		46		202310	310	51300	34000			*	3,091.67		
			MANAGEMENT FEES OCT23										
10/01/23		46		202310	310	51300	35200			*	100.00		
			WEBSITE ADMIN OCT23										
10/01/23		46		202310	310	51300	35100			*	150.00		
			INFORMATION TECH OCT23										
10/01/23		46		202310	330	57200	49200			*	416.67		
			AMENITY ACCESS OCT23										
10/01/23		46		202310	310	51300	31300			*	416.67		
			DISSEMINATION SVCS OCT23										
10/01/23		46		202310	310	51300	51000			*	.69		
			OFFICE SUPPLIES OCT23										
10/01/23		46		202310	310	51300	42000			*	14.14		
			POSTAGE OCT23										
10/01/23		47		202310	320	53800	34000			*	1,250.00		
			FIELD MANAGEMENT OCT23										
GOVERNMENTAL MANAGEMENT SERVICES-											17,166.52	000123	
11/01/23	00006	9/20/23	7375	202308	310	51300	31500			*	900.89		
			GENERAL COUNSEL AUG23										
		10/13/23	7616	202309	310	51300	31500			*	511.00		
			GENERAL COUNSEL SEP23										
KILINSKI VAN WYK, PLLC											1,411.89	000124	
11/01/23	00023	10/01/23	20603	202310	330	57200	46300			*	1,350.00		
			POOL MAINTENANCE OCT23										
MCDONNELL CORPORATION DBA RESORT											1,350.00	000125	
11/01/23	00010	10/01/23	10264	202310	320	53800	46200			*	2,446.00		
			LANDSCAPE MAINT OCT23										
		10/01/23	10264	202310	320	53800	46200			*	760.00		
			AMENITY LANDSCAPE OCT23										
PRINCE & SONS INC.											3,206.00	000126	
EHCD EAGLE HAMMOCK AGUZMAN													

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
11/03/23	00006	10/13/23	7617 031 FR#3	202310	300	20700	10200		KILINSKI VAN WYK, PLLC	*	474.50	474.50	000127
11/28/23	00008	10/30/23	16695 POND HERBICIDE OCT23	202310	320	53800	47000		AQUATIC WEED MANAGEMENT, INC	*	700.00	700.00	000128
11/28/23	00020	10/30/23	10938 JANITORIAL SVCS-OCT23	202310	330	57200	48201		CLEAN STAR SERVICES OF CENTRAL FL	*	725.00	725.00	000129
11/28/23	00017	10/30/23	33532 SIFER ISO CARD	202310	330	57200	34500		CURRENT DEMANDS ELECTRICAL	*	1,332.00	1,332.00	000130
11/28/23	00016	9/29/23	3 AMORT SERIES 2022 11-1	202310	310	51300	49000		DISCLOSURE SERVICES LLC	*	500.00	500.00	000131
11/28/23	00023	11/01/23	20873 POOL MAINTENANCE NOV23	202311	330	57200	46300		MCDONNELL CORPORATION DBA RESORT	*	1,350.00	1,350.00	000132
11/28/23	00010	11/01/23	10644 LANDSCAPE MAINT NOV23	202311	320	53800	46200		PRINCE & SONS INC.	*	2,446.00	2,446.00	000133
		11/01/23	10644 AMENITY LANDSCAPE NOV23	202311	320	53800	46200			*	760.00	760.00	
12/04/23	00020	11/17/23	11147 JANITORIAL SVCS-NOV23	202311	330	57200	48201		CLEAN STAR SERVICES OF CENTRAL FL	*	875.00	875.00	000134
12/04/23	00001	11/01/23	49 MANAGEMENT FEES NOV23	202311	310	51300	34000			*	3,091.67	3,091.67	
		11/01/23	49 WEBSITE ADMIN NOV23	202311	310	51300	35200			*	100.00	100.00	
		11/01/23	49 INFORMATION TECH NOV23	202311	310	51300	35100			*	150.00	150.00	
		11/01/23	49 DISSEMINATION SVCS NOV23	202311	310	51300	31300			*	416.67	416.67	
		11/01/23	49 AMENITY ACCESS NOV23	202311	330	57200	49200			*	416.67	416.67	
		11/01/23	49 OFFICE SUPPLIES NOV23	202311	310	51300	51000			*	.51	.51	

CHECK DATE	VEND#INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNTCHECK..... AMOUNT #
11/01/23	49	202311	310-51300-42000	POSTAGE NOV23	*	89.63	
11/01/23	50	202311	320-53800-34000	FIELD MANAGEMENT NOV23	*	1,250.00	
							5,515.15 000135
12/04/23	00006	11/19/23	7870 202310 310-51300-31500	GENERAL COUNSEL OCT23	*	112.25	
							112.25 000136
12/04/23	00010	11/06/23	10760 202311 320-53800-47300	REPLACE BROKEN SPRAY HEAD	*	83.59	
							83.59 000137
12/11/23	00006	11/19/23	7871 202312 300-20700-10200	031 FR#4	*	183.75	
							183.75 000138
1/16/24	00008	11/30/23	16851 202311 320-53800-47000	POND HERBICIDE NOV23	*	700.00	
		12/20/23	16976 202312 320-53800-47000	POND HERBICIDE DEC23	*	700.00	
							1,400.00 000139
1/16/24	00020	12/20/23	11353 202312 330-57200-48201	JANITORIAL SVCS-DEC23	*	725.00	
							725.00 000140
1/16/24	00027	1/11/24	01112024 202401 300-20700-10000	TRANSFER OF TAX RCPT S23	*	164,074.19	
							164,074.19 000141
1/16/24	00001	10/31/23	51 202310 320-53800-48000	GENERAL MAINTENANCE OCT23	*	347.50	
		12/01/23	52 202312 310-51300-34000	MANAGEMENT FEES DEC23	*	3,091.67	
		12/01/23	52 202312 310-51300-35200	WEBSITE ADMIN DEC23	*	100.00	
		12/01/23	52 202312 310-51300-35100	INFORMATION TECH DEC23	*	150.00	
		12/01/23	52 202312 310-51300-31300	DISSEMINATION SVCS DEC23	*	416.67	
		12/01/23	52 202312 330-57200-49200	AMENITY ACCESS DEC23	*	416.67	
		12/01/23	52 202312 310-51300-51000	OFFICE SUPPLIES DEC23	*	.45	

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT ACCT#	SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
12/01/23	52		202312 310-51300-42000				POSTAGE DEC23	*	21.66		
12/01/23	53		202312 320-53800-34000				FIELD MANAGEMENT DEC23	*	1,250.00		
GOVERNMENTAL MANAGEMENT SERVICES-										5,794.62	000142
1/16/24	00023	12/01/23	21168	202312	330-57200-46300		POOL MAINTENANCE DEC23	*	1,350.00		
		1/01/24	21442	202401	330-57200-46300		POOL MAINTENANCE JAN24	*	1,350.00		
MCDONNELL CORPORATION DBA RESORT										2,700.00	000143
1/16/24	00028	10/19/23	4652082	202312	300-20700-10000		1% ADMIN FEE DEBT	*	2,414.77		
		10/19/23	4652083	202312	300-32500-10000		1% ADMIN FEE MAINT	*	3,774.18		
POLK COUNTY PROPERTY APPRAISER										6,188.95	000144
1/16/24	00010	12/01/23	10986	202312	320-53800-46200		LANDSCAPE MAINT DEC23	*	2,446.00		
		12/01/23	10986	202312	320-53800-46200		AMENITY LANDSCAPE DEC23	*	760.00		
		1/01/24	11158	202401	320-53800-46200		LANDSCAPE MAINT JAN24	*	2,446.00		
		1/01/24	11158	202401	320-53800-46200		AMENITY LANDSCAPE JAN24	*	760.00		
PRINCE & SONS INC.										6,412.00	000145
1/16/24	00016	1/05/24	4	202401	310-51300-49000		AMORT SERIES 2022 2-1-24	*	500.00		
DISCLOSURE SERVICES LLC										500.00	000146
1/16/24	00001	1/01/24	54	202401	310-51300-34000		MANAGEMENT FEES JAN24	*	3,091.67		
		1/01/24	54	202401	310-51300-35200		WEBSITE ADMIN JAN24	*	100.00		
		1/01/24	54	202401	310-51300-35100		INFORMATION TECH JAN24	*	150.00		
		1/01/24	54	202401	310-51300-31300		DISSEMINATION SVCS JAN24	*	416.67		
		1/01/24	54	202401	330-57200-49200		AMENITY ACCESS JAN24	*	416.67		
		1/01/24	54	202401	310-51300-51000		OFFICE SUPPLIES JAN24	*	.60		
		1/01/24	54	202401	310-51300-42000		POSTAGE JAN24	*	51.85		

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
		1/01/24	55	202401 320-53800-34000	FIELD MANAGEMENT JAN24	*	1,250.00		
								5,477.46	000147

1/16/24	00029	1/03/24	01032024	202401 310-51300-42000	MAILING 2023 TAX NOTICES	*	101.65		
								101.65	000148

1/16/24	00006	12/15/23	8152	202311 310-51300-31500	GENERAL COUNSEL NOV23	*	339.00		
								339.00	000149

1/22/24	00025	9/11/23	27576	202310 330-57200-48100	PEST CONTROL SEP23	*	120.00		
		10/09/23	28359	202310 330-57200-48100	PEST CONTROL OCT23	*	120.00		
		11/10/23	29100	202311 330-57200-48100	PEST CONTROL NOV23	*	120.00		
		12/07/23	29814	202312 330-57200-48100	PEST CONTROL DEC23	*	120.00		
		1/10/24	30487	202401 330-57200-48100	PEST CONTROL JAN24	*	120.00		
								600.00	000150

1/22/24	00023	1/16/24	21668	202301 330-57200-48000	NEW POOL RULES SIGN	*	285.00		
								285.00	000151

1/31/24	00006	1/18/24	8538	202312 310-51300-31500	GENERAL COUNSEL DEC23	*	579.00		
								579.00	000152

2/06/24	00001	12/31/23	58	202312 330-57200-48000	PRESS RELEASE VALVE REPRD	*	383.45		
								383.45	000153

2/14/24	00008	1/30/24	17130	202401 320-53800-47000	POND HERBICIDE JAN24	*	700.00		
								700.00	000154

2/14/24	00020	1/31/24	11566	202401 330-57200-48201	JANITORIAL SVCS-JAN24	*	725.00		
								725.00	000155

2/14/24	00023	2/01/24	21779	202402 330-57200-46300	POOL MAINTENANCE FEB24	*	1,350.00		
								1,350.00	000156

EHCD EAGLE HAMMOCK AGUZMAN

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
2/14/24	00010	2/01/24	11596	202402	320-53800-46200			LANDSCAPE MAINT FEB24	*	2,446.00		
		2/01/24	11596	202402	320-53800-46200			AMENITY LANDSCAPE FEB24	*	760.00		
PRINCE & SONS INC.											3,206.00	000157
2/19/24	00001	2/01/24	56	202402	310-51300-34000			MANAGEMENT FEES FEB24	*	3,091.67		
		2/01/24	56	202402	310-51300-35200			WEBSITE ADMIN FEB24	*	100.00		
		2/01/24	56	202402	310-51300-35100			INFORMATION TECH FEB24	*	150.00		
		2/01/24	56	202402	310-51300-31300			DISSEMINATION SVCS FEB24	*	416.67		
		2/01/24	56	202402	330-57200-49200			AMENITY ACCESS FEB24	*	416.67		
		2/01/24	56	202402	310-51300-51000			OFFICE SUPPLIES FEB24	*	.57		
		2/01/24	56	202402	310-51300-42000			POSTAGE FEB24	*	35.34		
		2/01/24	57	202402	320-53800-34000			FIELD MANAGEMENT FEB24	*	1,250.00		
GOVERNMENTAL MANAGEMENT SERVICES-											5,460.92	000158
3/04/24	00008	2/28/24	17257	202402	320-53800-47000			POND HERBICIDE FEB24	*	700.00		
AQUATIC WEED MANAGEMENT, INC											700.00	000159
3/04/24	00020	2/29/24	11779	202402	330-57200-48201			JANITORIAL SVCS-FEB24	*	725.00		
CLEAN STAR SERVICES OF CENTRAL FL											725.00	000160
3/04/24	00027	3/04/24	03042024	202403	300-20700-10000			TXFER OF TAX RCPTS	*	438.36		
EAGLE HAMMOCK CDD C/O US BANK											438.36	000161
3/04/24	00006	2/20/24	8810	202401	310-51300-31500			GENERAL COUNSEL JAN24	*	631.00		
KILINSKI VAN WYK, PLLC											631.00	000162
3/04/24	00023	3/01/24	22088	202403	330-57200-46300			POOL MAINTENANCE MAR24	*	1,350.00		
MCDONNELL CORPORATION DBA RESORT											1,350.00	000163
3/11/24	00001	3/01/24	60	202403	310-51300-34000			MANAGEMENT FEES MAR24	*	3,091.67		

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
3/01/24	60			202403	310	51300	35200			*	100.00		
			WEBSITE ADMIN MAR24										
3/01/24	60			202403	310	51300	35100			*	150.00		
			INFORMATION TECH MAR24										
3/01/24	60			202403	310	51300	31300			*	416.67		
			DISSEMINATION SVCS MAR24										
3/01/24	60			202403	330	57200	49200			*	416.67		
			AMENITY ACCESS MAR24										
3/01/24	60			202403	310	51300	51000			*	.63		
			OFFICE SUPPLIES MAR24										
3/01/24	60			202403	310	51300	42000			*	11.20		
			POSTAGE MAR24										
3/01/24	61			202403	320	53800	34000			*	1,250.00		
			FIELD MANAGEMENT MAR24										
GOVERNMENTAL MANAGEMENT SERVICES-												5,436.84	000164
3/18/24	00001	1/31/24	62	202401	330	57200	48000			*	285.00		
			AMENITY REPAIRS JAN24										
GOVERNMENTAL MANAGEMENT SERVICES-												285.00	000165
3/18/24	00010	3/01/24	11895	202403	320	53800	46200			*	2,446.00		
			LANDSCAPE MAINT MAR24										
		3/01/24	11895	202403	320	53800	46200			*	760.00		
			AMENITY LANDSCAPE MAR24										
PRINCE & SONS INC.												3,206.00	000166
3/25/24	00025	2/08/24	31297	202402	330	57200	48100			*	120.00		
			PEST CONTROL FEB24										
		3/13/24	32022	202403	330	57200	48100			*	120.00		
			PEST CONTROL MAR24										
ALL AMERICAN LAWN & TREE												240.00	000167
3/25/24	00006	3/17/24	8863	202402	310	51300	31500			*	77.00		
			GENERAL COUNSEL FEB24										
KILINSKI VAN WYK, PLLC												77.00	000168
TOTAL FOR BANK A											338,248.40		
TOTAL FOR REGISTER											338,248.40		

SECTION 2

Eagle Hammock
Community Development District

Unaudited Financial Reporting
February 29, 2024



Table of Contents

1	<hr/>	Balance Sheet
2-3	<hr/>	General Fund
4	<hr/>	Debt Service Fund
5	<hr/>	Construction Fund
6-7	<hr/>	Month to Month
8	<hr/>	Long Term Debt Schedule
9	<hr/>	Assessment Receipt Schedule

Eagle Hammock
Community Development District
Combined Balance Sheet
February 29, 2024

	<i>General Fund</i>	<i>Debt Service Fund</i>	<i>Total Governmental Fund</i>
Assets:			
Operating Account	\$ 224,433	\$ -	\$ 224,433
Due From General Fund	\$ -	\$ 5,053	\$ 5,053
Investments:			
<u>Series 2022</u>			
Reserve	\$ -	\$ 108,036	\$ 108,036
Revenue	\$ -	\$ 213,676	\$ 213,676
Interest	\$ -	\$ 1,415	\$ 1,415
Prepayment	\$ -	\$ 48,635	\$ 48,635
Total Assets	\$ 224,433	\$ 376,814	\$ 601,247
Liabilities:			
Accounts Payable	\$ 2,538	\$ -	\$ 2,538
Due to Debt Service	\$ 5,053	\$ -	\$ 5,053
Total Liabilities	\$ 7,591	\$ -	\$ 7,591
Fund Balances:			
Restricted for:			
Debt Service	\$ -	\$ 376,814	\$ 376,814
Unassigned	\$ 216,842	\$ -	\$ 216,842
Total Fund Balances	\$ 216,842	\$ 376,814	\$ 593,656
Total Liabilities & Fund Balance	\$ 224,433	\$ 376,814	\$ 601,247

Eagle Hammock

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 29, 2024

	Adopted Budget	Prorated Budget Thru 02/29/24	Actual Thru 02/29/24	Variance
Revenues				
Assessments	\$ 351,000	\$ 264,339	\$ 264,339	\$ -
Developer Contributions	\$ -	\$ -	\$ 26,369	\$ 26,369
Total Revenues	\$ 351,000	\$ 264,339	\$ 290,708	\$ 26,369
Expenditures:				
General & Administrative:				
Supervisor Fees	\$ 12,000	\$ 5,000	\$ -	\$ 5,000
Engineering	\$ 15,000	\$ 6,250	\$ -	\$ 6,250
Attorney	\$ 12,500	\$ 5,208	\$ 1,738	\$ 3,470
Annual Audit	\$ 3,500	\$ -	\$ -	\$ -
Assessment Administration	\$ 5,000	\$ 5,000	\$ 5,000	\$ -
Arbitrage	\$ 450	\$ -	\$ -	\$ -
Dissemination	\$ 5,000	\$ 2,083	\$ 2,533	\$ (450)
Trustee Fees	\$ 4,020	\$ -	\$ -	\$ -
Management Fees	\$ 37,100	\$ 15,458	\$ 15,458	\$ -
Information Technology	\$ 1,800	\$ 750	\$ 750	\$ -
Website Maintenance	\$ 1,200	\$ 500	\$ 500	\$ -
Postage & Delivery	\$ 1,000	\$ 417	\$ 314	\$ 102
Insurance	\$ 5,750	\$ 5,750	\$ 5,175	\$ 575
Copies	\$ 1,000	\$ 417	\$ -	\$ 417
Legal Advertising	\$ 5,000	\$ 2,083	\$ -	\$ 2,083
Contingency	\$ 2,500	\$ 1,042	\$ 1,195	\$ (153)
Office Supplies	\$ 625	\$ 260	\$ 3	\$ 258
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ 175	\$ -
Total General & Administrative:	\$ 113,620	\$ 50,394	\$ 32,842	\$ 17,552

Eagle Hammock

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 29, 2024

	Adopted Budget	Prorated Budget Thru 02/29/24	Actual Thru 02/29/24	Variance
<i>Operation and Maintenance</i>				
Field Expenses				
Property Insurance	\$ 10,100	\$ 10,100	\$ 8,595	\$ 1,505
Field Management	\$ 15,000	\$ 6,250	\$ 6,250	\$ -
Landscape Maintenance	\$ 47,500	\$ 19,792	\$ 16,030	\$ 3,762
Landscape Replacement	\$ 10,000	\$ 4,167	\$ -	\$ 4,167
Lake Maintenance	\$ 8,400	\$ 3,500	\$ 3,500	\$ -
Streetlights	\$ 45,000	\$ 18,750	\$ 12,011	\$ 6,739
Electric	\$ 2,500	\$ 1,042	\$ 96	\$ 946
Water and Sewer	\$ 2,500	\$ 1,042	\$ 489	\$ 553
Sidewalk & Asphalt Maintenance	\$ 2,500	\$ 1,042	\$ -	\$ 1,042
Irrigation Repairs	\$ 7,500	\$ 3,125	\$ 84	\$ 3,041
General Field Repairs & Maintenance	\$ 10,000	\$ 4,167	\$ 348	\$ 3,819
Contingency	\$ 5,000	\$ 2,083	\$ -	\$ 2,083
Subtotal Field Expenditures:	\$ 166,000	\$ 75,058	\$ 47,402	\$ 27,657
Amenity Expenditures				
Amenity - Electric	\$ 8,000	\$ 3,333	\$ 2,145	\$ 1,189
Amenity - Water	\$ 10,000	\$ 4,167	\$ 3,494	\$ 673
Internet	\$ 2,000	\$ 833	\$ 365	\$ 468
Pest Control	\$ 480	\$ 200	\$ 720	\$ (520)
Janitorial Service	\$ 12,200	\$ 5,083	\$ 3,775	\$ 1,308
Security Services	\$ 5,000	\$ 2,083	\$ 1,332	\$ 751
Pool Maintenance	\$ 16,200	\$ 6,750	\$ 6,750	\$ -
Amenity Repairs & Maintenance	\$ 5,000	\$ 2,083	\$ 953	\$ 1,130
Amenity Access Management	\$ 5,000	\$ 2,083	\$ 2,083	\$ -
Contingency	\$ 7,500	\$ 3,125	\$ -	\$ 3,125
Subtotal Amenity Expenditures	\$ 71,380	\$ 29,742	\$ 21,617	\$ 8,125
Total Expenditures	\$ 351,000	\$ 155,194	\$ 101,861	\$ 53,333
Excess (Deficiency) of Revenues over Expenditures	\$ -		\$ 188,847	
Fund Balance - Beginning	\$ -		\$ 27,995	
Fund Balance - Ending	\$ -		\$ 216,842	

Eagle Hammock

Community Development District

Debt Service Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 29, 2024

	Adopted	Prorated Budget	Actual	
	Budget	Thru 02/29/24	Thru 02/29/24	Variance
Revenues				
Assessments	\$ 249,270	\$ 169,127	\$ 169,127	\$ -
Assessments - Prepayment	\$ -	\$ -	\$ 160,298	\$ 160,298
Interest	\$ -	\$ -	\$ 8,283	\$ 8,283
Total Revenues	\$ 249,270	\$ 169,127	\$ 337,708	\$ 168,581
Expenditures:				
Interest - 11/01	\$ 95,809	\$ 95,809	\$ 95,809	\$ -
Interest - 02/01	\$ -	\$ -	\$ 1,569	\$ (1,569)
Principal - 05/01	\$ 55,000	\$ -	\$ -	\$ -
Interest - 05/01	\$ 95,809	\$ -	\$ -	\$ -
Special Call - 11/01	\$ -	\$ -	\$ 365,000	\$ (365,000)
Special Call - 02/01	\$ -	\$ -	\$ 120,000	\$ (120,000)
Total Expenditures	\$ 246,619	\$ 95,809	\$ 582,378	\$ (486,569)
Net Change in Fund Balance	\$ 2,651		\$ (244,670)	
Fund Balance - Beginning	\$ 215,169		\$ 621,485	
Fund Balance - Ending	\$ 217,821		\$ 376,814	

Eagle Hammock

Community Development District

Construction Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 29, 2024

	Adopted Budget	Prorated Budget Thru 02/29/24	Actual Thru 02/29/24	Variance
Revenues				
Developer Contributions	\$ -	\$ -	\$ 184	\$ 184
Total Revenues	\$ -	\$ -	\$ 184	\$ 184
Expenditures:				
Capital Outlay - Cost of Issuance	\$ -	\$ -	\$ 184	\$(184)
Total Expenditures	\$ -	\$ -	\$ 184	\$(184)
Net Change in Fund Balance	\$ -	\$ -	\$ -	\$ -
Fund Balance - Beginning	\$ -	\$ -	\$ -	\$ -
Fund Balance - Ending	\$ -	\$ -	\$ -	\$ -

Eagle Hammock
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Total
Revenues													
Assessments	\$ -	\$ 3,689	\$ 242,961	\$ 10,477	\$ 7,213	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 264,339
Developer Contributions	\$ 15,069	\$ 11,300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 26,369
Total Revenues	\$ 15,069	\$ 14,989	\$ 242,961	\$ 10,477	\$ 7,213	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 290,708
Expenditures:													
<i>General & Administrative:</i>													
Supervisor Fees	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Engineering	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Attorney	\$ 112	\$ 339	\$ 579	\$ 631	\$ 77	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,738
Annual Audit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Assessment Administration	\$ 5,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,000
Arbitrage	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Dissemination	\$ 867	\$ 417	\$ 417	\$ 417	\$ 417	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,533
Trustee Fees	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Management Fees	\$ 3,092	\$ 3,092	\$ 3,092	\$ 3,092	\$ 3,092	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,458
Information Technology	\$ 150	\$ 150	\$ 150	\$ 150	\$ 150	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 750
Website Maintenance **	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500
Postage & Delivery	\$ 14	\$ 90	\$ 22	\$ 154	\$ 35	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 314
Insurance	\$ 5,175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,175
Copies	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Legal Advertising	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Contingency	\$ 539	\$ 38	\$ 39	\$ 539	\$ 41	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,195
Office Supplies	\$ 1	\$ 1	\$ 0	\$ 1	\$ 1	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3
Dues, Licenses & Subscriptions	\$ 175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 175
Total General & Administrative:	\$ 15,224	\$ 4,226	\$ 4,398	\$ 5,082	\$ 3,912	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 32,842

Eagle Hammock
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Total
<i>Operation and Maintenance</i>													
Field Expenses													
Property Insurance	\$ 8,595	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,595
Field Management	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,250
Landscape Maintenance	\$ 3,206	\$ 3,206	\$ 3,206	\$ 3,206	\$ 3,206	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16,030
Landscape Replacement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Lake Maintenance	\$ 700	\$ 700	\$ 700	\$ 700	\$ 700	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,500
Streetlights	\$ 2,406	\$ 2,406	\$ 2,406	\$ 2,333	\$ 2,459	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 12,011
Electric	\$ 33	\$ 29	\$ -	\$ 0	\$ 33	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 96
Water and Sewer	\$ 31	\$ 23	\$ 25	\$ 43	\$ 367	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 489
Sidewalk & Asphalt Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Irrigation Repairs	\$ -	\$ 84	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 84
General Repairs & Maintenance	\$ 348	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 348
Contingency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Field Expenditures:	\$ 16,569	\$ 7,699	\$ 7,587	\$ 7,532	\$ 8,015	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 47,402
Amenity Expenditures													
Amenity - Electric	\$ -	\$ 536	\$ 501	\$ 591	\$ 517	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,145
Amenity - Water	\$ 1,165	\$ 454	\$ 786	\$ 696	\$ 393	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,494
Internet	\$ 73	\$ 73	\$ 73	\$ 73	\$ 73	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 365
Pest Control	\$ 240	\$ 120	\$ 120	\$ 120	\$ 120	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 720
Janitorial Service	\$ 725	\$ 875	\$ 725	\$ 725	\$ 725	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,775
Security Services	\$ 1,332	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,332
Pool Maintenance	\$ 1,350	\$ 1,350	\$ 1,350	\$ 1,350	\$ 1,350	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,750
Amenity Repairs & Maintenance	\$ -	\$ -	\$ 383	\$ 570	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 953
Amenity Access Management	\$ 417	\$ 417	\$ 417	\$ 417	\$ 417	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,083
Contingency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Amenity Expenditures	\$ 5,302	\$ 3,824	\$ 4,355	\$ 4,542	\$ 3,594	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 21,617
Total Expenditures	\$ 37,095	\$ 15,748	\$ 16,340	\$ 17,156	\$ 15,521	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 101,861
Excess (Deficiency) of Revenues over Expenditures	\$ (22,026)	\$ (760)	\$ 226,621	\$ (6,679)	\$ (8,309)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 188,847

EAGLE HAMMOCK
Community Development District
Long Term Debt Report

SERIES 2021, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATE:	4.375%, 4.875%, 5.375%	
MATURITY DATE:	5/1/2052	
RESERVE FUND DEFINITION	50% MAXIMUM ANNUAL DEBT SERVICE	
RESERVE FUND REQUIREMENT	\$108,036	
RESERVE FUND BALANCE	\$108,036	
BONDS OUTSTANDING - 07/08/2022		\$3,800,000
LESS: Principal Payment - 05/01/23		(\$55,000)
LESS: Special Call - 05/01/23		(\$30,000)
LESS: Special Call - 08/01/23		(\$70,000)
LESS: Special Call - 11/01/23		(\$365,000)
LESS: Special Call - 02/01/24		(\$120,000)
CURRENT BONDS OUTSTANDING		\$3,160,000

Eagle Hammock
COMMUNITY DEVELOPMENT DISTRICT
Special Assessment Receipts
Fiscal Year 2024

ON ROLL ASSESSMENTS

Gross Assessments \$ 377,418.15 \$ 241,476.81 \$ 618,894.96
Net Assessments \$ 350,998.88 \$ 224,573.43 \$ 575,572.31

Date	Distribution	Gross Amount	Discount/Penalty	Commission	Interest	Property Appraiser	Net Receipts	61% 39% 100%		
								General Fund	Debt Service	Total
11/14/23	10/01/23-10	\$ 1,435.05	\$ (57.40)	\$ (27.55)	\$ -	\$ -	\$ 1,350.10	\$ 823.33	\$ 526.77	\$ 1,350.10
11/24/23	11/06/23-1	\$ 4,994.53	\$ (199.79)	\$ (95.89)	\$ -	\$ -	\$ 4,698.85	\$ 2,865.48	\$ 1,833.37	\$ 4,698.85
12/8/23	11/13/23-1	\$ 166,056.01	\$ (6,642.45)	\$ (3,188.27)	\$ -	\$ -	\$ 156,225.29	\$ 95,270.22	\$ 60,955.07	\$ 156,225.29
12/21/23	11/23/23-1	\$ 140,487.81	\$ (5,619.69)	\$ (2,697.36)	\$ -	\$ -	\$ 132,170.76	\$ 80,601.15	\$ 51,569.61	\$ 132,170.76
12/29/23	12/01/23-1	\$ 123,465.71	\$ (4,891.28)	\$ (2,371.49)	\$ -	\$ -	\$ 116,202.94	\$ 70,863.56	\$ 45,339.38	\$ 116,202.94
12/31/23	Inv#4652082	\$ -	\$ -	\$ -	\$ -	\$ (2,414.77)	\$ (2,414.77)	\$ (1,472.59)	\$ (942.18)	\$ (2,414.77)
12/31/23	Inv#4652083	\$ -	\$ -	\$ -	\$ -	\$ (3,774.18)	\$ (3,774.18)	\$ (2,301.59)	\$ (1,472.59)	\$ (3,774.18)
1/10/24	12/16/23-1	\$ 16,890.73	\$ (506.74)	\$ (327.68)	\$ -	\$ -	\$ 16,056.31	\$ 9,791.55	\$ 6,264.76	\$ 16,056.31
1/16/24	10/01/23-1	\$ -	\$ -	\$ -	\$ 1,123.51	\$ -	\$ 1,123.51	\$ 685.15	\$ 438.36	\$ 1,123.51
2/9/24	01/01/24-0	\$ 12,368.30	\$ (299.67)	\$ (241.37)	\$ -	\$ -	\$ 11,827.26	\$ 7,212.57	\$ 4,614.69	\$ 11,827.26
Total		\$ 465,698.14	\$ (18,217.02)	\$ (8,949.61)	\$ 1,123.51	\$ (6,188.95)	\$ 433,466.07	\$ 264,338.83	\$ 169,127.24	\$ 433,466.07

75% Net Percent Collected
\$ 142,106.24 Balance Remaining to Collect